



Kenai Peninsula Borough

144 North Binkley Street
Soldotna, AK 99669

Meeting Agenda Planning Commission

Blair Martin, Chair – District 2 Kenai
Jeremy Brantley, Vice Chair – District 5 Sterling/Funny River
Pamela Gillham – District 1 Kalifornsky
John Hooper – District 3 Nikiski
Michael Horton – District 4 Soldotna
Virginia Morgan – District 6 East Peninsula
VACANT – District 7 Central
David Stutzer – District 8 Homer
Dawson Slaughter – District 9 South Peninsula
Diane Fikes – City of Kenai
Franco Venuti – City of Homer
Charlene Tautfest – City of Soldotna
Troy Staggs – City of Seward
VACANT – City of Seldovia

Monday, September 12, 2022

7:30 PM

Betty J. Glick Assembly Chambers

Zoom Meeting ID: 907 714 2200

The hearing procedure for the Planning Commission public hearings are as follows:

- 1) Staff will present a report on the item.
- 2) The Chair will ask for petitioner's presentation given by Petitioner(s) / Applicant (s) or their representative – 10 minutes
- 3) Public testimony on the issue. – 5 minutes per person
- 4) After testimony is completed, the Planning Commission may follow with questions. A person may only testify once on an issue unless questioned by the Planning Commission.
- 5) Staff may respond to any testimony given and the Commission may ask staff questions.
- 6) Rebuttal by the Petitioner(s) / Applicant(s) to rebut evidence or provide clarification but should not present new testimony or evidence.
- 7) The Chair closes the hearing and no further public comment will be heard.
- 8) The Chair entertains a motion and the Commission deliberates and makes a decision.

All those wishing to testify must wait for recognition by the Chair. Each person that testifies must write his or her name and mailing address on the sign-in sheet located by the microphone provided for public comment. They must begin by stating their name and address for the record at the microphone. All questions will be directed to the Chair. Testimony must be kept to the subject at hand and shall not deal with personalities. Decorum must be maintained at all times and all testifiers shall be treated with respect.

A. CALL TO ORDER

B. ROLL CALL

C. APPROVAL OF CONSENT AND REGULAR AGENDA

All items marked with an asterisk () are consent agenda items. Consent agenda items are considered routine and non-controversial by the Planning Commission and will be approved by one motion. There will be no separate discussion of consent agenda items unless a Planning Commissioner so requests in which case the item will be removed from the consent agenda and considered in its normal sequence on the regular agenda.*

If you wish to comment on a consent agenda item or a regular agenda item other than a public hearing, please advise the recording secretary before the meeting begins, and she will inform the Chairman of your wish to comment.

1. Time Extension Request
2. Planning Commission Resolutions
3. Plats Granted Administrative Approval

- [KPB-4566](#)
- a. Cook Estates Iverslie Addition; KPB File 2022-028
 - b. Lost Lake Subdivision 2022 Addition; KPB File 2022-003
 - b. Skyview Height Subdivision Spellman Addition; KPB File 2021-146
 - c. Tatum Denis Subdivision; KPB File 2021-122R1
 - d. Tulin West Highlands Replat 2022; KPB File 2022-019
 - e. Woody Acres 2022 Replat; KPB File 2022-006

Attachments: [C3. Admin Approvals](#)

4. Plats Granted Final Approval (KPB 20.10.040)
5. Plat Amendment Request
6. Commissioner Excused Absences
7. Minutes

[KPB-4567](#) August 22, 2022 PC Meeting Minutes

Attachments: [C7. 8-22-22 PC Minutes](#)

D. OLD BUSINESS**E. NEW BUSINESS**

1. [KPB-4568](#) Conditional Use Permit - PC Resolution 2022-42
Request: Installation of rip rap on a parcel within the 50-foot Habitat Protection District of Crooked Creek in the Kasilof Area

Attachments: [E1. CUP-ADFG Crooked Creek Packet](#)

2. [KPB-4569](#) Conditional Use Permit - PC Resolution 2022-15
Request: To make improvements to public use facilities on a parcel within the Habitat Protection District of the Kenai River in the Cooper Landing area.

Attachments: [E2. CUP-USFWS Jim's Landing Packet](#)

F. PLAT COMMITTEE REPORT**G. OTHER**

[KPB-4570](#) Seward Highway & Alyeska Highway Intersection Improvements

Attachments: [G1. Alyeska Seward Hwy Intersection Project](#)

H. PUBLIC COMMENT/PRESENTATION

(Items other than those appearing on the agenda or scheduled for public hearing. Limited to five minutes per speaker unless previous arrangements are made)

I. DIRECTOR'S COMMENTS**J. COMMISSIONER COMMENTS****K. ADJOURNMENT****MISCELLANEOUS INFORMATIONAL ITEMS****NO ACTION REQUIRED**

[KPB-4572](#) Advisory Planning Commission Meeting Minutes

Attachments: [Misc Information PC](#)

NEXT REGULARLY SCHEDULED PLANNING COMMISSION MEETING

The next regularly scheduled Planning Commission meeting will be held Monday, September 26, 2022 in the Betty J. Glick Assembly Chambers of the Kenai Peninsula Borough George A. Navarre Administration Building, 144 North Binkley Street, Soldotna, Alaska at 7:30 p.m.

CONTACT INFORMATION

KENAI PENINSULA BOROUGH PLANNING DEPARTMENT

Phone: 907-714-2215

Phone: toll free within the Borough 1-800-478-4441, extension 2215

Fax: 907-714-2378

e-mail address: planning@kpb.us

website: <http://www.kpb.us/planning-dept/planning-home>

A party of record may file an appeal of a decision of the Planning Commission in accordance with the requirements of the Kenai Peninsula Borough Code of Ordinances. An appeal must be filed with the Borough Clerk within 15 days of the notice of decision, using the proper forms, and be accompanied by the filing and records preparation fees. Vacations of right-of-ways, public areas, or public easements outside city limits cannot be made without the consent of the borough assembly.

Vacations within city limits cannot be made without the consent of the city council. The assembly or city council shall have 30 calendar days from the date of approval in which to veto the planning commission decision. If no veto is received within the specified period, it shall be considered that consent was given.

A denial of a vacation is a final act for which the Kenai Peninsula Borough shall give no further consideration. Upon denial, no reapplication or petition concerning the same vacation may be filed within one calendar year of the date of the final denial action except in the case where new evidence or circumstances exist that were not available or present when the original petition was filed.

C. CONSENT AGENDA

***3. Plats Granted Administrative Approval**

- a. Cook Estates Iverslie Addition; KPB File 2022-028
- b. Lost Lake Subdivision 2022 Addition: KPB File 2022-003
- c. Skyview Heights Subdivision Spellmna Addition; KPB File 2021-146
- d. Tatum Denise Subdivision; KPB File 2021-122R1
- e. Tulin West Highlands Replat 2022; KPB File 2022-019
- f. Woody Acres 2022 Replat; KPB File 2022-006



Planning Department

144 N. Binkley Street, Soldotna, Alaska 99669 • (907) 714-2200 • (907) 714-2378 Fax

Charlie Pierce
Borough Mayor

ADMINISTRATIVE APPROVAL

Subdivision: Cook Estates Iverslie Addition
KPB File 2022-028
Kenai Recording District

The Kenai Peninsula Borough Planning Commission conditionally approved the preliminary subdivision plat on April 11, 2022. Approval for the plat is valid for two years from the date of approval.

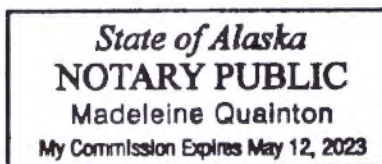
The final plat complied with conditions of preliminary approval and KPB Title 20 (Subdivisions); therefore, per KPB 20.60.220, administrative approval has been granted by the undersigned on Friday, September 2, 2022.

Robert Ruffner
Planning Director

State of Alaska
Kenai Peninsula Borough

Signed and sworn (or affirmed) in my presence this 2 day of September 2022 by
Robert Ruffner.

Notary Public for the State of Alaska



My commission expires: 5/12/23

The survey firm has been advised of additional requirements, if any, to be complied with prior to recording. After the original mylar has been signed by the KPB official, it must be filed with the appropriate district recorder within ten business days by the surveyor or the Planning Department.



Planning Department

144 N. Binkley Street, Soldotna, Alaska 99669 • (907) 714-2200 • (907) 714-2378 Fax

Charlie Pierce
Borough Mayor

ADMINISTRATIVE APPROVAL

Subdivision: Lost Lake Subdivision 2022 Addition
KPB File 2022-003
Seward Recording District

The Kenai Peninsula Borough Planning Commission conditionally approved the preliminary subdivision plat on February 14, 2022. Approval for the plat is valid for two years from the date of approval.

The final plat complied with conditions of preliminary approval and KPB Title 20 (Subdivisions); therefore, per KPB 20.60.220, administrative approval has been granted by the undersigned on Wednesday, August 31, 2022.

Vince Piagentini
Platting Manager

State of Alaska
Kenai Peninsula Borough

Signed and sworn (or affirmed) in my presence this 31 day of August 2022 by
Vince Piagentini.

Notary Public for the State of Alaska



My commission expires: 5/12/23

The survey firm has been advised of additional requirements, if any, to be complied with prior to recording. After the original mylar has been signed by the KPB official, it must be filed with the appropriate district recorder within ten business days by the surveyor or the Planning Department.



Planning Department

144 N. Binkley Street, Soldotna, Alaska 99669 • (907) 714-2200 • (907) 714-2378 Fax

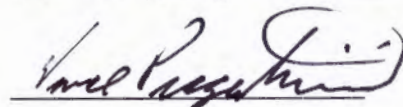
Charlie Pierce
Borough Mayor

ADMINISTRATIVE APPROVAL

Subdivision: Skyview Heights Subdivision Spellman Addition
KP8 File 2021-146
Kenai Recording District


The Kenai Peninsula Borough Planning Commission conditionally approved the preliminary subdivision plat on November 29, 2021. Approval for the plat is valid for two years from the date of approval.

The final plat complied with conditions of preliminary approval and KP8 Title 20 (Subdivisions); therefore, per KP8 20.60.220, administrative approval has been granted by the undersigned on Wednesday, August 31, 2022.

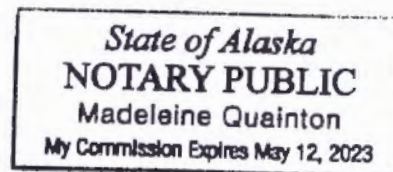

Vince Piagentini
Platting Manager

State of Alaska
Kenai Peninsula Borough

Signed and sworn (or affirmed) in my presence this 31 day of August 2022 by
Vince Piagentini.


Notary Public for the State of Alaska

My commission expires: 5/12/23



The survey firm has been advised of additional requirements, if any, to be complied with prior to recording. After the original mylar has been signed by the KP8 official, it must be filed with the appropriate district recorder within ten business days by the surveyor or the Planning Department.



Planning Department

144 N. Binkley Street, Soldotna, Alaska 99669 • (907) 714-2200 • (907) 714-2378 Fax

Charlie Pierce
Borough Mayor

ADMINISTRATIVE APPROVAL

Subdivision: Tatum Denise Subdivision
KPB File 2021-122R1
Kenai Recording District

The Kenai Peninsula Borough Planning Commission conditionally approved the preliminary subdivision plat on April 25, 2022. Approval for the plat is valid for two years from the date of approval.

The final plat complied with conditions of preliminary approval and KPB Title 20 (Subdivisions); therefore, per KPB 20.60.220, administrative approval has been granted by the undersigned on Thursday, August 18, 2022.

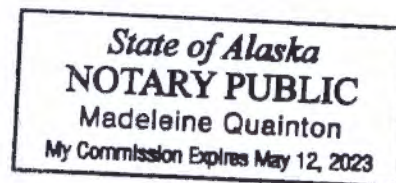
Robert Ruffner
Planning Director

State of Alaska
Kenai Peninsula Borough

Signed and sworn (or affirmed) in my presence this 18 day of August 2022 by Robert Ruffner.

Notary Public for the State of Alaska

My commission expires: 5/12/23



The survey firm has been advised of additional requirements, if any, to be complied with prior to recording. After the original mylar has been signed by the KPB official, it must be filed with the appropriate district recorder within ten business days by the surveyor or the Planning Department.



Planning Department

144 N. Binkley Street, Soldotna, Alaska 99669 • (907) 714-2200 • (907) 714-2378 Fax

Charlie Pierce
Borough Mayor

ADMINISTRATIVE APPROVAL

Subdivision: Tulin West Highlands Replat 2022
KPB File 2022-019
Homer Recording District

The Kenai Peninsula Borough Planning Commission conditionally approved the preliminary subdivision plat on March 21, 2022. Approval for the plat is valid for two years from the date of approval.

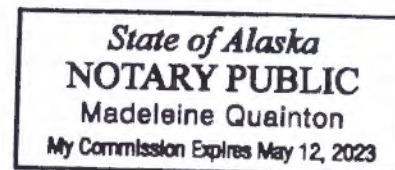
The final plat complied with conditions of preliminary approval and KPB Title 20 (Subdivisions); therefore, per KPB 20.60.220, administrative approval has been granted by the undersigned on Tuesday, August 23, 2022.

Vince Piagentini
Platting Manager

State of Alaska
Kenai Peninsula Borough

Signed and sworn (or affirmed) in my presence this 23 day of August 2022 by
Vince Piagentini.

Notary Public for the State of Alaska



My commission expires: 5/12/23

The survey firm has been advised of additional requirements, if any, to be complied with prior to recording. After the original mylar has been signed by the KPB official, it must be filed with the appropriate district recorder within ten business days by the surveyor or the Planning Department.



Planning Department

144 N. Binkley Street, Soldotna, Alaska 99669 • (907) 714-2200 • (907) 714-2378 Fax

Charlie Pierce
Borough Mayor

ADMINISTRATIVE APPROVAL

Subdivision: Woody Acres 2022 Replat
KPB File 2022-006
Homer Recording District

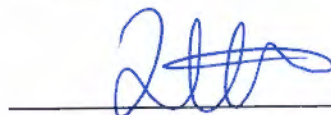
The Kenai Peninsula Borough Planning Commission conditionally approved the preliminary subdivision plat on February 14, 2022. Approval for the plat is valid for two years from the date of approval.

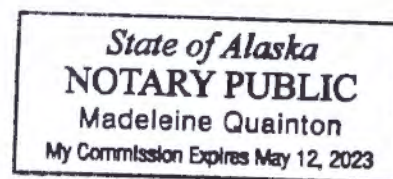
The final plat complied with conditions of preliminary approval and KPB Title 20 (Subdivisions); therefore, per KPB 20.60.220, administrative approval has been granted by the undersigned on Wednesday, August 24, 2022.


Vince Piagentini
Platting Manager

State of Alaska
Kenai Peninsula Borough

Signed and sworn (or affirmed) in my presence this 24 day of August 2022 by
Vince Piagentini.


Notary Public for the State of Alaska



My commission expires: 5/12/23

The survey firm has been advised of additional requirements, if any, to be complied with prior to recording. After the original mylar has been signed by the KPB official, it must be filed with the appropriate district recorder within ten business days by the surveyor or the Planning Department.

C. CONSENT AGENDA

*7. Minutes

August 22, 2022 Planning Commission Meeting

Kenai Peninsula Borough Planning Commission

Betty J. Glick Assembly Chambers, Kenai Peninsula Borough George A. Navarre Administration Building

August 22, 2022
7:30 P.M.
UNAPPROVED MINUTES

AGENDA ITEM A. **CALL TO ORDER**

Chair Brantley called the meeting to order at 7:30 p.m.

AGENDA ITEM B. **ROLL CALL**

Commissioners Present

Jeremy Brantley, District 5 – Sterling/Funny River
Diane Fikes, City of Kenai
Pamela Gillham, District 1 – Kalifornsky
John Hooper, District 3 – Nikiski
Michael Horton, District 4 – Soldotna
Blair Martin, District 2 – Kenai
Virginia Morgan, District 6 – East Peninsula
Troy Staggs, City of Seward
David Stutzer, District 8 – Homer
Dawson Slaughter, District 9 – South Peninsula
Charlene Tautfest, City of Soldotna
Franco Venuti, City of Homer

With 12 members of a 12-member seated commission in attendance, a quorum was present.

Staff Present

Robert Ruffner, Planning Director
Walker Steinhage, Deputy Borough Attorney
Marcus Mueller, Land Management Officer
Vince Piagentini, Platting Manager
Julie Hindman, Platting Specialist
Morgan Aldridge, Resource Planner
Ann Shirnberg, Planning Administrative Assistant
Rhonda Foster-Deskins, LMD Administrative Assistant.

AGENDA ITEM C. **CONSENT & REGULAR AGENDAS**

- *3. Plats Granted Administrative Approval**
 - a. Hiridge Subdivision Amended Thompson Addition; KPB File 2021-163
 - b. West Hill Subdivision Harness Addition; KPB File 2021-021R
- *4. Plats Granted Final Approval**
 - a. Little Story Subdivision: KPB File 2022-004
- *6. Commissioner Excused Absences**
 - a. District 7 – Central, Vacant
 - b. City of Seldovia, Vacant

***7. Minutes**

- a. August 8, 2022 Planning Commission meeting minutes.

Chair Brantley asked if anyone wished to speak to any of the items on the consent agenda. Hearing no one wishing to comment he asked Ms. Shirnberg to read into the record the consent agenda items.

MOTION: Commissioner Martin moved, seconded by Commissioner Gillham to approve the consent and regular agendas.

Hearing no objection or further discussion, the motion was carried by the following vote:

MOTION PASSED BY UNANIMOUS VOTE:

Yes - 12	Brantley, Fikes, Gillham, Hooper, Horton, Martin, Morgan, Slaughter, Staggs, Stutzer, Tautfest, Venuti
No - 0	

AGENDA ITEM E. NEW BUSINESS

Chair Brantley asked Ms. Shirnberg to read into the record the procedures for public hearings.

**ITEM E1 – RIGHT-OF-WAY VACATION
JOE LUY COURT AND BISMARCK COURT RIGHT-OF-WAY AND
ASSOCIATED UTILITY EASEMENT VACATIONS**

KPB File No.	2022-117V
Planning Commission Meeting:	August 22, 2022
Applicant / Owner:	Alcan Ventures Limited of Vernon, BC
Surveyor:	John Segesser / Segesser Surveys
General Location:	Citabria Street, Lower Salamatof Avenue, Salamatof
Legal Description:	Joe Luy Court and Bismarck Court, Salamatof Air Park Alcan Addition No. 2, Plat KN 2009-14, Township 6 North, Range 12 West, Section 1

Staff report given by Platting Specialist Julie Hindman.

Chair Brantley opened the item for public comment. Seeing and hearing no one wishing to comment, public comment was closed and discussion was opened among the commission.

MOTION: Commissioner Horton moved, seconded by Commissioner Slaughter, to approve the vacation as petitioned based on the means of evaluating public necessity established by KPB 20.70, subject to staff recommendations and compliance with borough code.

Hearing no objection or further discussion, the motion was carried by the following vote:

MOTION PASSED BY UNANIMOUS VOTE:

Yes - 12	Brantley, Fikes, Gillham, Hooper, Horton, Martin, Morgan, Slaughter, Staggs, Stutzer, Tautfest, Venuti
No - 0	

**ITEM E2 – CONDITIONAL USE PERMIT
ANADROMOUS WATERS HABITAT PROTECTION DISTRICT**

KPB File No.	2022-34
Planning Commission Meeting:	August 22, 2022
Applicant	Castaway Cove Association
Mailing Address	1577 C Street, Anchorage, AK 99501

Legal Description	T 5N R 10W SEC 19 SEWARD MERIDIAN KN 0840140 CASTAWAY COVE SUB AMENDED TRACTS A & B
KPB Parcel Number	055-255-47 & 055-253-42

Staff report given by Morgan Aldridge.

Chair Brantley opened the item for public comment.

Ward Hepper; 45583 Fish On Drive, Kenai, AK 99611: Mr. Hepper is a landowner in Castaway Cove Subdivision. He is opposed to approving this conditional use permit. The location of the proposed foot bridge could negatively affect his property. He stated the HOA is opposed to this conditional use permit. He stated that the HOA concerns have not been addressed.

Rick Gedney; 45612 Catching Silvers Drive, Kenai AK 99611: Mr. Gedney lives on the island that this foot bridge will serve. He and the other landowners on this island fully support approving this conditional use permit. He also stated that he has a letter signed by the HOA stating that they approve of this project. The letter even has Mr. Hepper's signature. The current foot bridge to the island is in a state of disrepair, the HOA has invested a lot of money trying to stabilize the bank and it has not worked. There is a very real chance that the current access to the island will not be usable in the near future. A permit to replace the bridge was issued two years ago and will expire on August 24, 2022. Several years ago a resident of the island, Leon James, had the foresight to purchase a bridge from Boeing. The island residents have raised the funds to get the bridge here and to have it installed. There were complications due to COVID restrictions that delayed getting the bridge up to Alaska. The bridge finally made it here this last July. He noted that they are working with an engineer from Anchorage on the installation of this bridge. All the pieces are in place and they want to move forward with the installation. They would like to install the bridge this November, allowing for the wetlands to freeze, which will reduce potential damage to them. They are just asking for a one-year extension for the current permit.

Commissioner Gillham asked Mr. Gedney who owns the property that this new bridge will be set on. Mr. Gedney replied that the HOA owns the easement where the bridge will be placed. Commissioner Gillham asked if the easement, where the bridge is to be placed, is a public access or private easement. Mr. Gedney replied that he believed the HOA owns the easement.

Wyatt Hepper; 45583 Fish On Drive, Kenai, AK 99611: Wyatt Hepper is Ward Hepper's son and joins his father in opposing this conditional use permit. He stated that the location of the footbridge could have a negative impact on their property, as their property butts up against the easement they want to use. The HOA has not seen any engineering plans for this project. He also noted that the residents on the island will not lose their access as they will still be able to access their properties from the water.

Ward Hepper; 45583 Fish On Drive, Kenai, AK 99611: Mr. Hepper restated that the HOA is not in support of this project. The HOA does not want to be liable for the bridge. The HOA has not seen any engineering reports or any documentation showing that this project is feasible. The HOA is not opposed to the island residents having access, they just do not want to incur the liability of this bridge. If the island folks wanted to give the HOA the money to build the bridge, they would build the bridge and take responsibility for it.

Chair Brantley asked Mr. Hepper if the HOA, who is listed as the applicant on the application, would like to withdraw the application. Mr. Hepper stated that the HOA would like the application withdrawn. Chair Brantley asked Borough Attorney Steinhage that since the applicant on the application is Castaway Cove HOA and Mr. Hepper is their representative could he withdraw the application on the HOA's behalf? Borough Attorney Steinhage replied the representative of the HOA could request that the application be withdrawn.

Commissioner Gillham asked if there was a resolution from the HOA stating that the HOA does not want to move forward with the project and gives Mr. Hepper the authority to speak on their behalf.

Chair Brantley asked staff to come back and answer a few questions. He said it was stated that the River Center required the approval of Castaway Cove HOA for this project, is there any documentation showing the HOA's approval? He then asked would it be possible for Leon James to come back with a permit application on his own, without the HOA's approval. Ms. Aldridge replied that the River Center requested

written approval for the project from the landowner, which was Castaway Cove HOA. A recent letter was supplied from the HOA allowing this application to go forward for review by the planning commission.

Commissioner Morgan stated that she was confused – the permit application states Castaway Cove HOA is the applicant. She also noted that the application package was incomplete as several pages are missing and she doesn't see the letter from the HOA that Mr. Gedney and Ms. Aldridge are referring to.

Planner Aldridge reviewed the meeting materials and agreed that several pages appeared to be missing. She then read an excerpt from the 7-28-22 letter from the HOA into the record:

Additional provision for the installation of bridge #2 Castaway Cove are as follows:

- The Castaway Cove Association has no liability for the bridge installation. The builder assumes all costs and liability until the bridge is completed.
- After the bridge is completed, they will turn over ownership to the association. The bridge is to be inspected by a qualified inspector.
- Castaway Cove board members agree to the permit application (extension) under these provisions. (Unanimous approval 5-0)
- Letter was signed by Board President Ward Hepper.

Borough Attorney Steinhage recommended that the commission move to postpone action on this item. It will allow time for staff to verify the players and the information brought forth tonight. Chair Brantley agreed.

Seeing and hearing no one else wishing to comment, public comment was closed and discussion was opened among the commission. Ms. Morgan then read into the record the letter dated 7/27/22 from the HOA.

MOTION: Commissioner Martin moved, seconded by Commissioner Horton, to postpone until brought back by staff

Hearing no objection or further discussion, the motion was carried by the following vote:

MOTION PASSED BY UNANIMOUS VOTE:

Yes - 12	Brantley, Fikes, Gillham, Hooper, Horton, Martin, Morgan, Slaughter, Staggs, Stutzer, Tautfest, Venuti
No - 0	

ITEM E3 – ORDINANCE 2022-38

Authorizing the release of a portion of a conservation easement deed restriction on a parcel of land located in Cooper Landing and to acquire a 30-foot-wide tract of land and classify three 30-foot-wide tracts of land as government.

Staff report given by Land Management Officer Marcus Mueller.

Chair Brantley opened the item for public comment. Seeing and hearing no one wishing to comment, public comment was closed and discussion was opened among the commission.

MOTION: Commissioner Morgan moved, seconded by Commissioner Staggs to forward to the assembly a recommendation to adopt Ordinance 2022-38, Authorizing the release of a portion of a conservation easement deed restriction on a parcel of land located in Cooper Landing and to acquire a 30-foot-wide tract of land and classify three 30-foot-wide tracts of land as government.

Hearing no objection or further discussion, the motion was carried by the following vote:

MOTION PASSED BY UNANIMOUS VOTE:

Yes - 12	Brantley, Fikes, Gillham, Hooper, Horton, Martin, Morgan, Slaughter, Staggs, Stutzer, Tautfest, Venuti
No - 0	

ITEM E4 – Ordinance 2022-41

An ordinance amending KPB 21.02 regarding Advisory Planning Commissions, establishing an advisory planning commission in the Nikiski area.

Staff report Planning Director Robert Ruffner.

Commissioner Horton asked Director Ruffner if the residents at the public meeting gave a reason for wanting the APC to cover such a large area. Director Ruffner replied that what he heard from the residents at the meeting was that their desired area for the APC mimics the size of the Nikiski's recreational and their fire service areas. The other reason given was that one of the first duties of an APC is to work on developing a land plan for their area. They noted that the borough does own quite a bit of land on the westside and they would like to be able to make recommendations on the use of those lands. Director Ruffner then stated that he weighs this desire against the idea that the purpose of the APC is to provide information to the planning commission on local issues.

Commissioner Slaughter noted that looking at the signatures on the petition it appears that all the individuals live within the alternative 4 boundary area. He does not see any signatures from anyone on the westside. He then asked if there had been any outreach to the residents on the westside to see if they would be interested in being included in this APC. Director Ruffner stated that he did ask that question at the public meeting and to his knowledge no one from the westside has responded one way or another on this issue. Commissioner Slaughter then stated that he had sat on a local APC for a number of years and that he believes that the local voice that APCs provide is important. His concern is that having such a large area to cover, and with no input from anyone on the westside, there would be no local input from that area. He supports those local residents who wish to create an APC and since they all live within the alternative option; he would support the option of the smaller boundary area. Perhaps later the folks on the westside can decide to either join the Nikiski APC or start one of their own.

Commissioner Venuti asked Director Ruffner what would be the downside of having such a large area for an APC. Director Ruffner identified several potential issues. One would be sending out notifications of actions within an APC. Another is you want an APC to have credibility when commenting on things like platting actions or road vacations. That credibility comes from having locals who live and interact in the area. He raised this issue at the community meeting and several folks there responded that they did have local knowledge of the westside through their work in the oil fields and having recreational properties there.

Commissioner Martin stated what could it hurt if the commission approved their request as petitioned. Tyonek could still offer their opinion at any time as well as offer to have a resident sit on the APC. He believed that it would still be beneficial to get some local input, even if it was someone from the eastside.

Commissioner Stutzer asked if there would be any issues if at a later date the westside chose to break off and create their own APC. Director Ruffner replied yes, that could be a possibility.

Chair Brantley opened the item for public comment.

Camille Broussard; 52557 Geraldine Street, Kenai, AK 99611: Ms. Broussard spoke in support of the boundary area as it was petitioned. This large boundary area was unanimously supported by all the community members who attended the public meeting. The boundary, as petitioned, is the same size as the fire service and recreational service areas. She noted that a number of residents on the eastside have businesses or recreational property on the westside.

Heidi Covey; 49690 Two Junes Avenue, Kenai, AK 99611: Ms. Covey spoke in support of the boundary area as it was petitioned. She noted that she has been a resident of the Nikiski area for 37 years and has served on a service area board. The westside does receive funding from the fire service, senior service, recreational service and road maintenance taxes from our area. To her knowledge no one from the westside has ever served on any service area board. She noted the westside has not been excluded, they just chose not to volunteer.

Kristine Schmidt; 513 Ash Street, Kenai, AK 99611: Ms. Schmidt spoke in support of the boundary area as it was petitioned. She noted that she and her husband own property within the area of the proposed advisory planning commission. She noted that the size of the proposed area is pretty much the same as the fire, recreational, senior & road service areas. Their taxes support these services and it makes sense to her that the advisory planning commission area would have the same boundaries.

Seeing and hearing no one else wishing to comment, public comment was closed and discussion was opened among the commission.

MOTION: Commissioner Horton moved, seconded by Commissioner Staggs, to forward to the assembly a recommendation to adopt Ordinance 2022-41, amending KPB 21.02 regarding Advisory Planning Commissions, establishing an advisory planning commission in the Nikiski area.

Commissioner Stutzer stated that he was leaning towards supporting the larger boundary area since it had the most community support. However, he does have concerns whether the residents of the smaller but more populated area on the eastside could adequately provide local information on and recommendations for activities on the westside. He also noted that from public testimony that it does not appear that anyone from the westside has ever volunteered to sit on any of the other service area boards in the area so most likely serving on the APC would be no different.

Commissioner Morgan stated that she supports the alternative option. She noted that as a planning commissioner she represents a large district as do several other planning commissioners. Her district is very large and they have three APCs in the district, Cooper Landing, Hope/Sunrise & Moose Pass. They are all different communities and she doesn't believe anyone in Cooper Landing would want someone in Hope, which is across the mountain range, making recommendations for their community. It does not seem intuitive to her that Nikiski should be making decisions about communities across the water. While she has heard tonight that no one from the westside has stepped up to serve on a board, what she hasn't heard is whether or not there has been any outreach to any of the community about this proposal. She doesn't believe an advisory planning commission should be making decisions about communities they don't live in.

Commissioner Martin noted that Tyonek is not currently represented by an advisory planning commission. They are not being advised at all and at least there are folks on the eastside willing to provide some advice. He then noted APCs do not make decisions for communities they just advise. Having the westside included would provide at least some representation opposed to nothing at all.

Commissioner Slaughter asked if they move forward with the larger boundary area how many seats would there be on the APC. Could the planning commission make a recommendation that at least there be one member on the APC from the westside. The APC could actively try and recruit someone from the westside and if no one comes forward then that seat could be filled by someone on the eastside. He thinks as large as the petition boundary area is, it would be important to have someone from the westside on the APC.

Chair Brantley stated that he is in favor of the alternate smaller option. He thinks the petitioned area is too large and the smaller area is a more appropriate size. He does not agree with the argument that the APC boundaries should be the same size of the other service areas. An APC and service areas are not the same thing. An APC is about expressing local views and providing insight on a community. If you travel a distance, communities can be very different from one another. There is a great deal of distance between the east and west sides of the Nikiski service area and the communities are very different.

AMENDMENT MOTION: Commissioner Slaughter moved, seconded by Commissioner Horton to recommend to the Assembly to adopt the alternative boundary option (307,400 acre).

Hearing no objection or further discussion, the motion was carried by the following vote:

AMENDMENT MOTION PASSED BY MAJORITY VOTE:

Yes - 11	Brantley, Fikes, Gillham, Hooper, Horton, Morgan, Slaughter, Staggs, Stutzer, Tautfest, Venuti
No - 1	Martin

Hearing no objection or further discussion, the motion was carried by the following vote:

MOTION AS AMENDED PASSED BY UNANIMOUS VOTE:

Yes - 12	Brantley, Fikes, Gillham, Hooper, Horton, Martin, Morgan, Slaughter, Staggs, Stutzer, Tautfest, Venuti
No - 0	

AGENDA ITEM F. PLAT COMMITTEE REPORT

Commissioner Gillham reported the plat committee reviewed & granted preliminary approval to 8 plats.

AGENDA ITEM G.

1. Community Development Block Grant – Disaster Relief & Mitigation Program
2. Ordinance 2022-36: Amending KPB Chapter 21.25 and KPB Chapter 21.29 regarding conditional land use permits and material site permits, updating notice, applicability, permit types, application requirements, standards and permit conditions.

There was a general consensus from the commission that they did not want to make a recommendation on this ordinance at this time. It was noted that the Assembly is still working on this ordinance and more amendments are likely. The majority also felt that public comment on this ordinance would be more beneficial at the Assembly level.

MOTION: Commissioner Martin moved, seconded by Commissioner Fikes to not hear Ordinance 2022-36 at the September 12, 2022 Planning Commission Meeting.

Commissioner Stutzer stated that he will abstain from voting on this item since he is schedule to be gone for the September 12, 2022 meeting.

Hearing no objection or further discussion, the motion was carried by the following vote:

AMENDMENT MOTION PASSED BY MAJORITY VOTE:

Yes - 8	Brantley, Fikes, Gillham, Hooper, Horton, Morgan, Staggs, Venuti
No - 1	Slaughter, Tautfest
Abstain - 1	Stutzer

AGENDA ITEM H. PUBLIC COMMENT/PRESENTATIONS

Chair Brantley asked if there was anyone from the public who would like to comment on anything not appearing on the agenda. No one wished to comment.

AGENDA ITEM I. DIRECTOR'S COMMENTS

AGENDA ITEM J. COMMISSIONER COMMENTS

- Commissioner Stutzer informed the commission he would not be able to attend the September 12 & 26 meetings.
- Commissioner Hooper informed the commission he would not be able to attend the September 12, 2022 meeting.

AGENDA ITEM K. ADJOURNMENT

Commissioner Martin moved to adjourn the meeting at 9:30 PM.

Ann E. Shirnberg
Administrative Assistant

E. NEW BUSINESS

1. Conditional Use Permit – PC Resolution 2022-42

**Request: Installation of rip rap on a parcel within the
50-foot Habitat Protection district of the
Crooked Creek**

**Petitioner: Alaska Department of Fish & Game
Kasilof Area**

Multi Agency Permit Application



514 Funny River Road, Soldotna, AK 99669 • (907) 714-2460 • KenaiRivCenter@kpb.us

Applicant Information:

Name: Alaska Dept. of Fish and Game
Owner? ☒ Yes ☐ No
Mailing: 43961 Kalifornsky Beach Rd. Suite B
Soldotna, AK 99669
Phone: 907-262-9368
Email: jenny.gates@alaska.gov and colton.lipka@alaska.gov

Agent Information: (if applicable)

Name: Alaska Dept. of Fish and Game (Jenny Gates and Colton Lipka)
Mailing: 43961 Kalifornsky Beach Rd. Suite B
Soldotna, AK 99669
Phone: 907-262-9368
Email: jenny.gates@alaska.gov and colton.lipka@alaska.gov

Project Location:

KPB Parcel ID: 13702121
Physical Address: 21880 Johnson Lake Road
Kasilof, AK 99610
Waterbody Name: Crooked Creek
River Mile: ~ 3.15 Riverbank: ☒ Right
looking downstream ☐ Left

Subdivision: NA
Lot: NA Block: NA Addn/No.: NA
Directions to site: Sterling Highway to Johnson Lake Road. Follow
Johnson Lake Road to the dead end. Crooked Creek Facility is located at the end of
Johnson Lake Road on the left hand side. Site is located within the facility.

Permit Fees: (please select the applicable permit fees)

- ☐ \$100 - ADNR State Parks Permit ☐ \$300 - KPB Conditional Use Permit
☒ \$50 - KPB Habitat/Floodplain Permit ☐ \$300 - KPB Floodway Development Permit

Project Description: ☒ New Project OR ☐ Extension ☐ Amendment to RC# _____

Provide a detailed description of your project and all related activities, use additional pages if needed. Include the following information for all existing and proposed structures:

- **Project location & dimensions**
- **Waterbody description & proximity**
- **Proximity to OHW and/or HTL**
- **Construction methods/equipment**
- **Filling/dredging/excavation:**
 - type, volume, area, location
- **Fuel Storage:** location, quantities
- **Vegetation Removal:** location, amount, type

See attached.

KPB Tax Credit: (skip this section if your project is prior existing, only applicable to NEW projects)

Please provide your estimated project cost(s) below. Do not include grants or other funding assistance:

Elevated Light Penetrating Structure(s)	\$ <u>NA</u>
Bank or Habitat Restoration & Protection	\$ <u>NA</u>
Other Activities	\$ <u>30,000</u>

Project Questions:

Note: Use Ordinary High Water (OHW) for non-tidal waters, and Mean High Tide (MHT) for tidal waters.

1. Start date: ASAP End date: ASAP Estimated Days of Construction: 3
2. Is the project located within 50 feet of OHW or HTL a waterbody? ☒ Yes ☐ No
3. Does any portion of the project extend **below** the OHW or HTL of the stream or waterbody? ☒ Yes ☐ No
4. Does any portion of the project cantilever or extend **over** the OHW of the waterbody? ☒ Yes ☐ No
5. Will anything be placed below OHW or HTL of the waterbody? ☒ Yes ☐ No
6. Will material be extracted or dredged from the site? ☒ Yes ☐ No
7. Including areas below OHW or HTL, what is the total area (in acres) that will be excavated or dredged?
Total Area: NA Type of Material: Type 2/3 rip rap rock
Location you will depositing fill: Right bank (see attached)
8. Will any material (including soils, debris, and/or overburden) be used as fill? ☐ Yes ☐ No
Type of material: type 2/3 rip rap Amount: 100 yards Permanent ☐ or Temporary ☒
Will fill be placed below OHW or HTL: ☒ Yes ☐ No
9. List all motorized equipment to be used in this project, including access route to site, any stream or waterbody crossings, and (if applicable) how long equipment will be used below OHW or HTL: A 200 series excavator will be used for placing rip rap in the eroded area. The equipment will not be below OHW and remain on the bank. Equipment will be brought to the worksite from the eastern side of the facility. A gravel ramp, piers and lumber will be used to shore up the existing infrastructure (head raceway) of the facility.
10. Is any portion of the work already complete? ☐ Yes ☒ No
If yes, describe: _____

Signature & Certification:

This application is hereby made requesting permit(s) to authorize the work described in this application form. I certify the information in this application is complete and accurate to the best of my knowledge.

If applying for a tax credit: I certify that I have not begun construction of the project on this the property and that the proposed project will be constructed in a manner consistent with KPB 5.12 Real Property and Personal Property Taxes, KPB 5.14 Habitat Protection Tax Credit, and other applicable ordinances.

Jenny Gates
Digitally signed by Jenny Gates
Date: 2022.08.17 09:10:58 -08'00'
Applicant Signature (required)

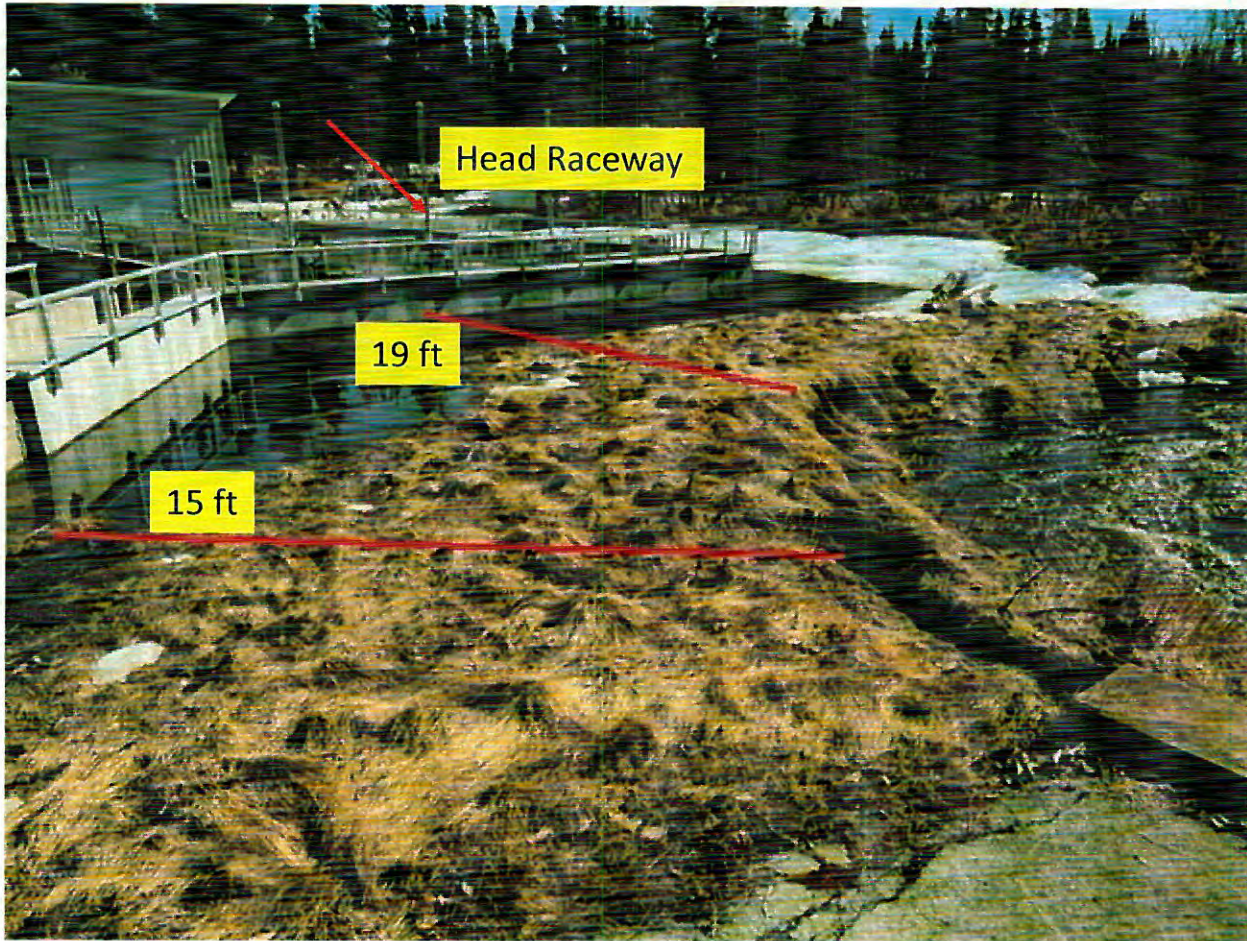
August 17, 2022
Date

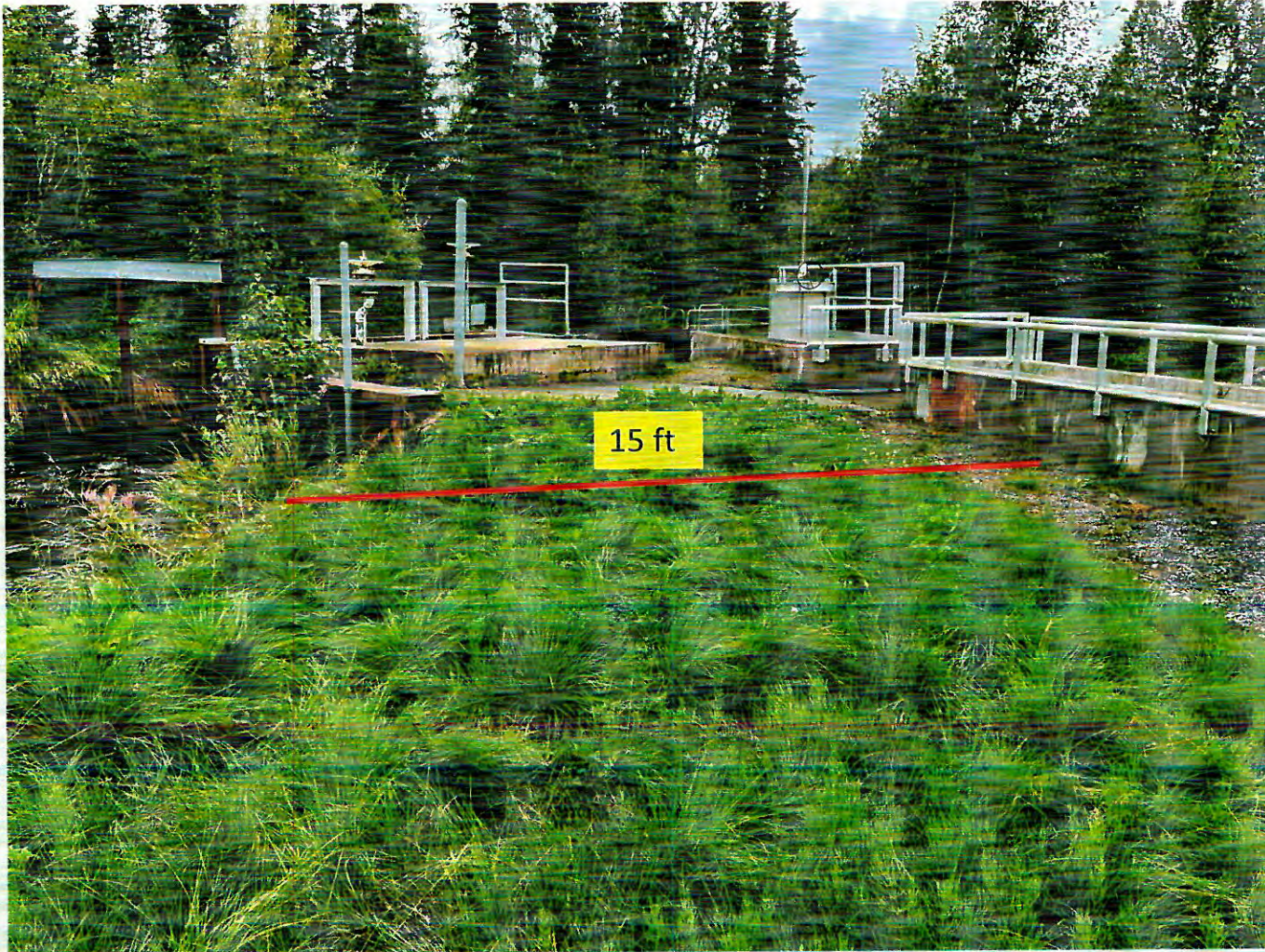
Jenny Gates
Digitally signed by Jenny Gates
Date: 2022.08.17 09:11:21 -08'00'
Agent Signature (if applicable)

August 17, 2022
Date

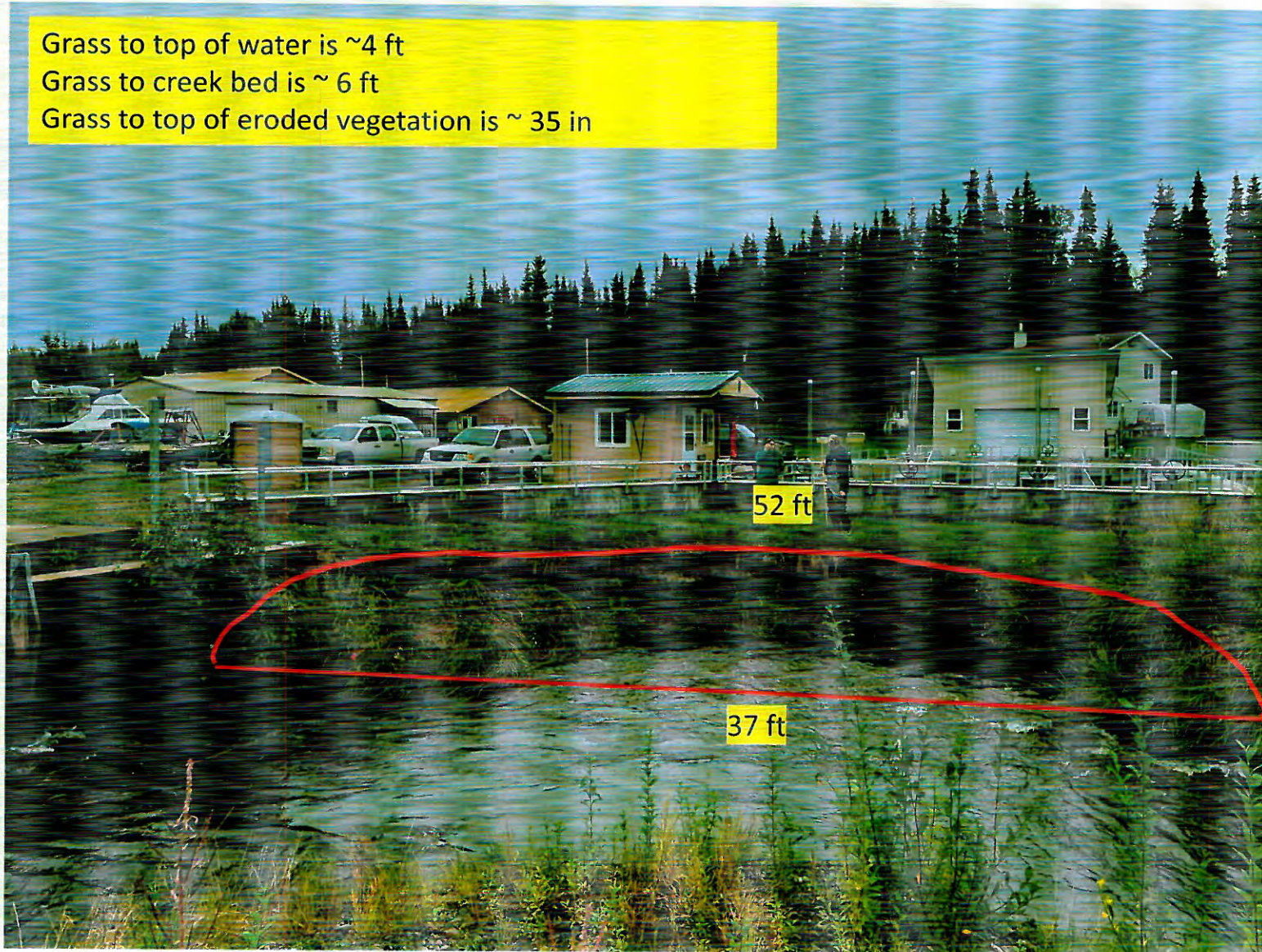
The Alaska Department of Fish and Game Crooked Creek Facility is located on Johnson Lake Road near Kasilof. The Crooked Creek Facility is used to enumerate Chinook salmon, imprint Chinook salmon smolt, collect brood stock to enhance the early-run Kasilof River sport fishery, terminal fisheries in Kachemak Bay and Resurrection Bay, and lake stocking throughout the Northern Kenai Peninsula. The current erosion occurring on Crooked Creek is located within 15 feet of necessary structures used to facilitate project objectives and enhancement activities. Please refer to slides 1-4 for area of concern and slide 5 for proposed scope of work.

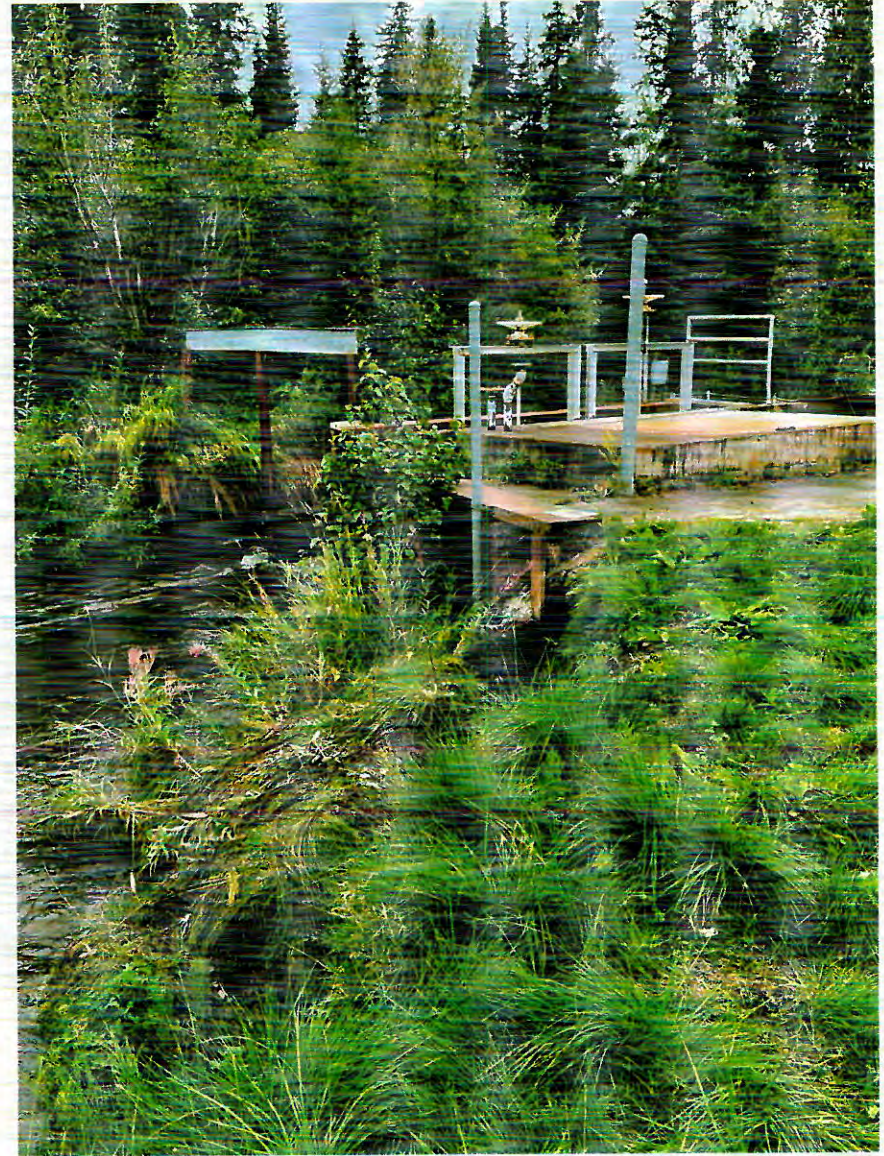
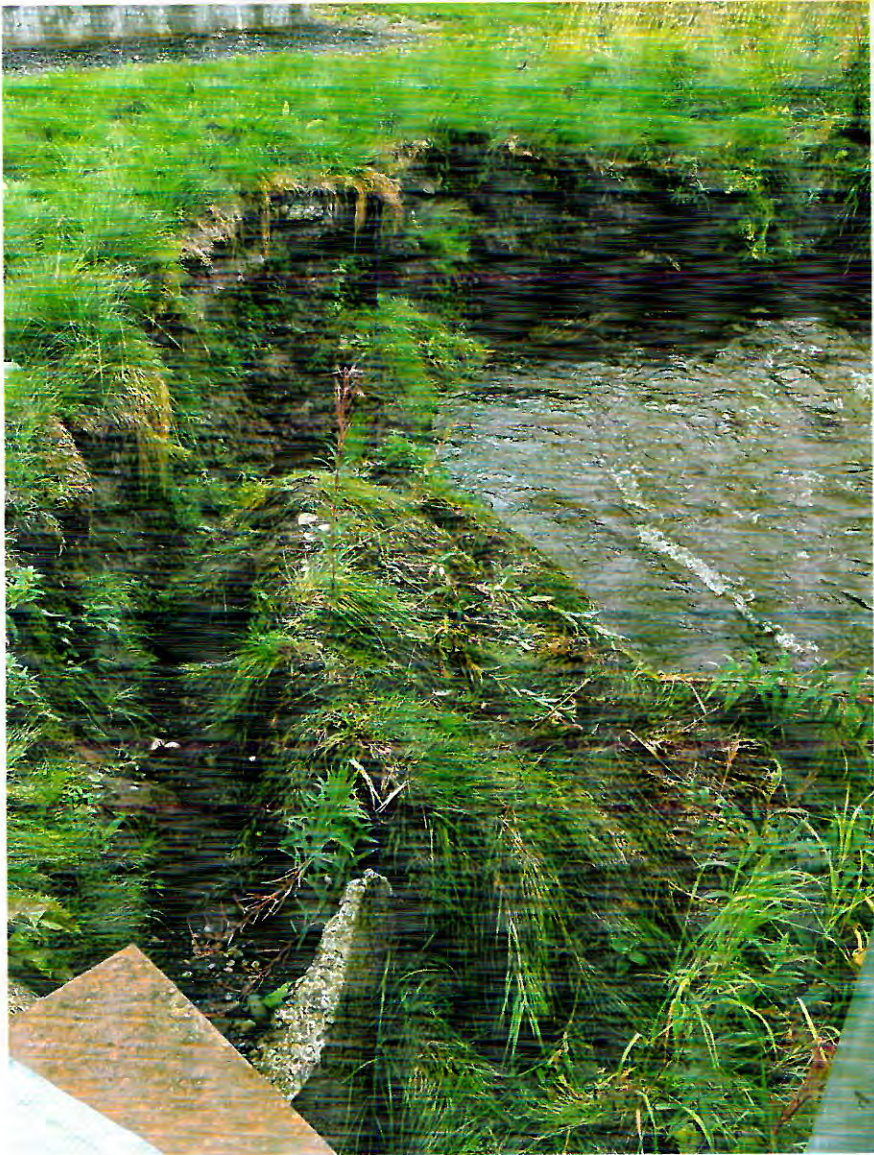
The Department is proposing to use approximately 100 cubic yards of type 2/3 rock (rip rap) to fortify and stabilize approximately 52 feet of bank. The height of the bank is approximately 6 feet to creek substrate and approximately 4 feet to the water during normal summer flows. Also attached are spring flow conditions (slide 4). Heights vary to the caved bank on the downstream edge but range between 24 and 36 inches. The design method chosen will use rip rap to stabilize approximately 6 to 7 feet out from the bank and run a slight vein upstream to direct water away from the area of erosion. Rip rap will be placed below OHW and extend up to the top of the bank above OHW (~6 ft). No existing vegetation is expected to be removed. Some fill may be used to tie rip rap together above OHW. Fuel storage (if needed) will be stored sufficiently away from the creek near the maintenance building within a containment structure. A 200 series excavator will be delivered to the site and access the creek by creating a ramp (using gravel, pads, and lumber) over existing infrastructure (head raceway, slide 4). It is estimated it will take 3 employees approximately 3 days to complete the project. The Department would prefer that this work is completed before fall/winter stream flows become such that it will impede construction and prior to high spring flows.

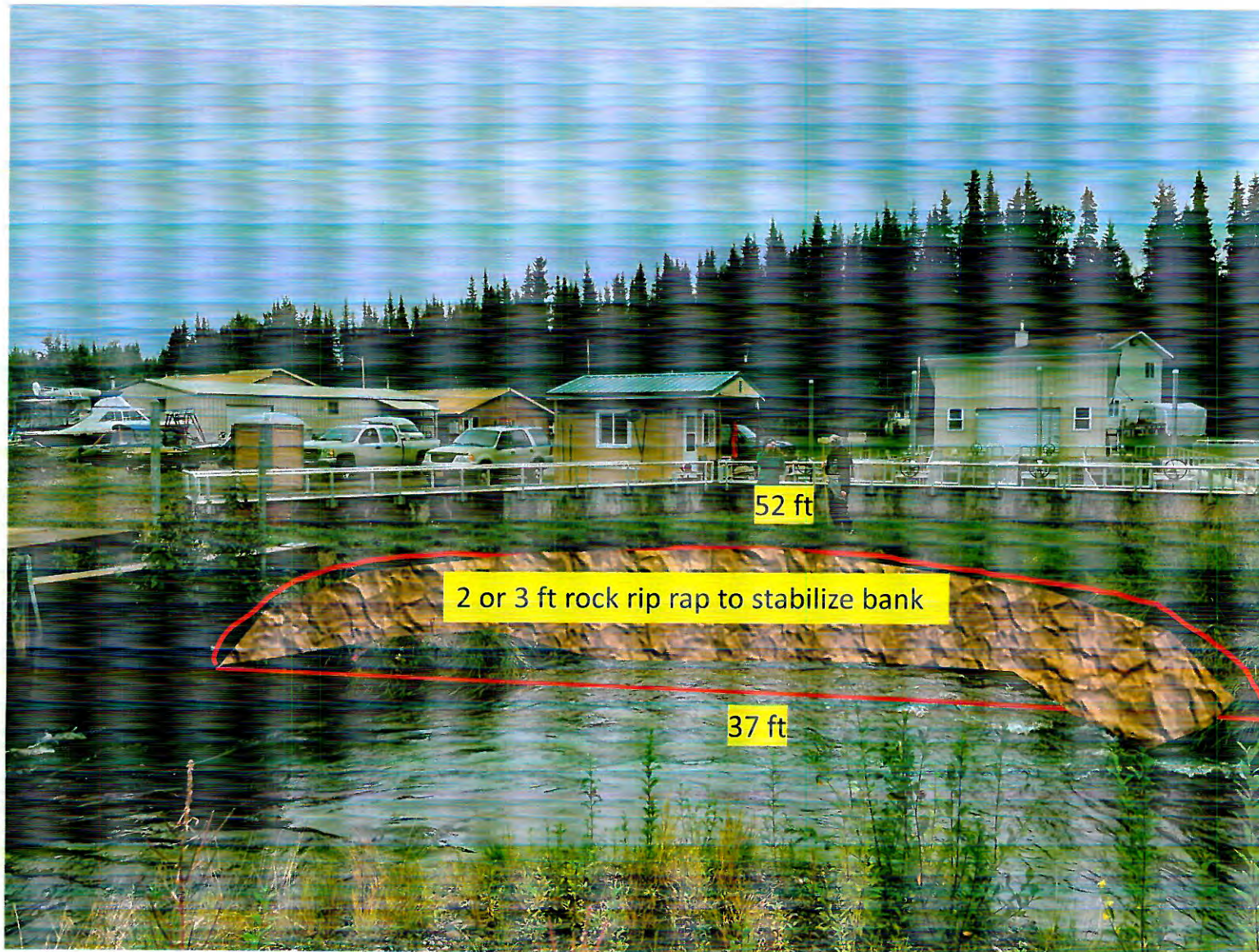




Grass to top of water is ~4 ft
Grass to creek bed is ~ 6 ft
Grass to top of eroded vegetation is ~ 35 in









Location of sandbar from sedimentation across from erosion area



















**Conditional Use Permit
Anadromous Waters Habitat Protection District
Staff Report**

KPB File No.	2022-42
Planning Commission Meeting:	September 12, 2022
Applicant	ALASKA DEPARTMENT OF FISH & GAME
Mailing Address	43691 KALIFORNSKY BEACH RD SUITE B SOLDOTNA, AK 99669
Legal Description	T 2N R 12W SEC 1 SEWARD MERIDIAN KN A 10 ACRE PARCEL WITHIN THE NE1/4 LYING EAST OF STERLING HWY & SOUTH OF OLD STERLING HWY & NORTH & WEST OF HELENS HAVEN SUB
Physical Address	21880 JOHNSON LAKE RD
KPB Parcel Number	13702121

Project Description

A Conditional Use Permit is sought pursuant to KPB 21.18 for the installation of rip rap within the 50-foot Habitat Protection District of the Crooked Creek, as established in KPB 21.18.040.

Background Information

KPB staff conducted a site visit on August 11 with ADFG to evaluate erosion immediately upstream of the Crooked Creek weir in Kasilof.

In May of this year, a high water event led to a significant amount of erosion along on the right bank, pushing the creek meander within 15 feet of the concrete raceway. Both ADFG and KPB staff understand that the erosion is being accelerated (if not caused) by the old infrastructure constricting the creek. This infrastructure is no longer necessary for the operation of the weir that is used to enhance the Kasilof River King Salmon run.

Operation and methodology of the facility have changed significantly over time. In 2008, plans were finalized, detailing how to address the erosion concerns in this location. Due to past years' budget constraints, no work has been done to execute that portion of the plan.

In the last year, approximately 52 linear feet of the bank has eroded, coming within 15 feet of the infrastructure that is still critical to the operation of the facility. ADFG does not currently have funding to remove the root cause of the problem, the relict structures constricting the creek, but proposes to use rip rap to stabilize the bank as a temporary solution until funding for a permanent repair can be obtained.

The temporary solution will only be in place until ADFG can remove all unnecessary structures, including: sheet piling, a concrete pump house, and mid-channel steel structures within the creek. The temporary solution shall not be in place beyond the expiration date of this permit. Realignment of the creek utilizing habitat friendly root-wad techniques will be required to remedy the issues identified in the field. In the future, a Conditional Use Permit must be sought once funding is secured and detailed plans are developed.

Project Details within the 50-foot Habitat Protection District

1. Placement of 100 cubic yards of type 2 and 3 rip rap to stabilize the outside bank that has eroded.

Findings of fact pursuant to KPB 21.18.081 Conditional Use Permit

1. Portions of this proposed project are within the 50-foot habitat protection district as defined by KPB 21.18.040.
2. Pursuant to KPB 21.18.081(B)(5), construction of Transportation and Utility Infrastructure may be approved as a conditional structure/use within the habitat protection district.
3. Pursuant to 21.18.081(D) General Standards, staff finds that the proposed project meets or partially meets the five general standards.
4. Pursuant to KPB 21.18.020(A), this chapter was established to protect and preserve the stability of anadromous fish through controlling shoreline alterations and disturbances along anadromous waters and to preserve nearshore habitat.
5. Pursuant to KPB 21.18.20(B)(5), one purpose of this chapter was established to separate conflicting land uses.
6. This is to be a temporary solution while ADFG seeks funding to remove the failing, non-water dependent weir structures and sheet pile, and to further protect the necessary infrastructure.
7. While this problem has been recognized at the location since 2008, no work has been done to prevent erosion from occurring. Spring 2022 erosion shows the bank is beginning to fail. Without action, the weir infrastructure is at risk. This installation of rip rap will be temporary, and KPB will require the removal of non-water dependent infrastructure prior to the expiration of this permit.
8. Pursuant to KPB 21.06.081(D)(3), the proposed work will occur on the applicant's property and shall not have an adverse effect on adjoining properties.
9. Kenai Peninsula Borough Planning Commission Resolution 2015-35 defines water-dependent as:
"...a use or structure located on, in or adjacent to water areas because the use requires access to the waterbody. The definition is applicable to facilities or activities that must be located at or near the shoreline and within the 50-foot buffer. An activity is considered water dependent if it is dependent on the water as part of the intrinsic nature of its operation. Examples of water dependent facilities may include, but are not limited to, piers, boat ramps, and elevated walkways." Infrastructure that is not intrinsic to the operations of the facility must be removed before this permit expires in order to bring this property into compliance.
10. The River Center found the application complete and scheduled a public hearing for September 12, 2022.
11. Agency review was distributed on August 26, 2022. No comments or objections have been received from resource agencies to date.
12. Pursuant to KPB 21.11.030, public notice was mailed to all property owners within a radius of 300 feet of the project on August 26, 2022. A total of 8 mailings were sent.
13. Pursuant to KPB 21.11.020, public notice was published in the Peninsula Clarion on September 1, 2022 and September 8, 2022.
14. The applicant is currently in compliance with Borough permits and ordinances.

Permit Conditions

1. This facility must come into compliance by removing infrastructure that is not necessary to the operations of the facility prior to the expiration of this permit. Structures required to be removed include: temporary rip rap, sheet piling, unused pump house, and mid-channel steel, formerly used to control water elevations.
2. The rip rap must be designed and installed to meet KPB floodplain requirements.

3. The permittee shall minimize damage to all vegetation and shall revegetate all disturbed areas with native vegetation.
4. For each tree removed, two seedlings less than 5.5-feet tall of a species native to the region will be planted within the 50-foot HPD.
5. Storage or use of fuel is prohibited within 50-feet of any open water.
6. The River Center shall be notified at least 3 days prior to the start of the project.
7. If changes to the approved project described above are proposed prior to or during its siting, construction, or operation, the permittee is required to notify the River Center to determine if additional approval is required.
8. The permittee shall be held responsible for the actions of the contractors, agents, or others who perform work to accomplish the approved plan.
9. The construction or installation phase of this Conditional Use Permit must be completed within two calendar years from the date of the permit's issuance, or the Conditional Use Permit shall expire. Prior to its expiration date and upon written request, the Planning Director may grant a Conditional Use Permit extension for 12 months (KPB 21.18.081 (H)).
10. In addition to the penalties provided by KPB 21.18.110, and pursuant to KPB 21.50, the permit may be revoked if the permittee fails to comply with the provisions of this chapter or the terms and conditions of a permit issued under this chapter. The Borough Clerk shall provide at least 15 day's written notice to the permittee of a revocation hearing before the hearing officer (KPB 21.18.082).
11. The permittee shall comply with the terms, conditions and requirements of the Kenai Peninsula Borough Code of Ordinances Chapter 21.18, and any regulations adopted pursuant to this chapter.
12. The permittee is responsible for abiding by all other federal, state, and local laws, regulations, and permitting requirements applicable to the project (KPB 21.18.081 (G)).

General Standards

Pursuant to 21.18.081(D) General Standards, the following standards shall be met before conditional use approval may be granted:

1. The use or structure will not cause significant erosion, sedimentation, damage within the habitat protection district, an increase in ground or surface water pollution, and damage to riparian wetlands and riparian ecosystems; **due to the temporary nature of the proposed project, this standard is partially met. Conditions 1 - 6 appear to support this standard.**
2. Granting of the conditional use shall be consistent with the purposes of this chapter, the borough comprehensive plan, other applicable chapters of the borough Code, and other applicable planning documents adopted by the borough; **Findings 1-5 and Conditions 11-12 appear to support this standard.**
3. The development of the use or structure shall not physically damage the adjoining property; **Findings 4, 8 and Condition 2 appear to support this standard.**
4. The proposed use or structure is water-dependent; **due to the temporary nature of the proposed project, this standard is partially met. Finding 9 and Condition 1 appear to support this standard.**
5. Applicant's or owner's compliance with other borough permits and ordinance requirements; **Finding 14 and Conditions 11, 12 appear to support this standard.**

Attachments

Multi-Agency Application
Draft Resolution 2022-42

Recommendation

Based on the findings, staff finds that the proposed project meets or partially meets the five general standards of KPB 21.18.081. The Planning Commission could consider additional permit conditions to mitigate for any habitat loss if it chooses.

Staff recommends the Planning Commission grant a Conditional Use Permit for the proposed project details subject to adopted conditions as set forth in 2022-42.

Note: An appeal of a decision of the Planning Commission may be filed to the Hearing Officer, in accordance with the requirements of the Kenai Peninsula Borough Code of Ordinances, Chapter 21.20.250. An appeal must be filed with the Borough Clerk within 15 days of date of the notice of the decision using the proper forms and be accompanied by the filing and records preparation fee.

END OF STAFF REPORT



Donald E. Gilman River Center

514 Funny River Road, Soldotna, Alaska 99669 • (907) 714-2460 • (907) 260-5992 Fax

A Division of the Planning Department

Charlie Pierce
Borough Mayor

KENAI PENINSULA BOROUGH PLANNING COMMISSION NOTICE OF PUBLIC HEARING

Public notice is hereby given that an application for a Conditional Use Permit has been received to install rip rap on a parcel within the 50-foot Habitat Protection District of the Crooked Creek, near Kasilof, Alaska. ***You have been sent this notice because you are a property owner within 300 feet of the described property.***

Pursuant to KPB 21.18.081(B)(5) Transportation and Utility Infrastructure and KPB 21.18.091 Mitigation measures, projects within the 50-foot Habitat Protection District are not permitted unless a Conditional Use Permit (CUP) is approved by the Planning Commission. This project is located at T 2N R 12W SEC 1 SEWARD MERIDIAN KN A 10 ACRE PARCEL WITHIN THE NE1/4 LYING EAST OF STERLING HWY & SOUTH OF OLD STERLING HWY & NORTH & WEST OF HELENS HAVEN SUB, Kasilof, Alaska.

Petitioner: ALASKA DEPARTMENT OF FISH & GAME
43691 KALIFORNSKY BEACH RD SUITE B
SOLDOTNA, AK 99669

Public Hearing: The Kenai Peninsula Borough Planning Commission meeting will hold a public hearing on September 12, 2022 commencing at 7:30 p.m., or as soon thereafter as business permits. The public may also attend the meeting electronically/telephonically via Zoom. To join the meeting from a computer visit <https://us06web.zoom.us/j/9077142200>. To attend the Zoom meeting by telephone call toll free 1-888-788-0099 or 1-877-853-5247. When calling in you will need the Meeting ID 907 714 2200.

Public Comment: Anyone wishing to testify may attend the above meeting to give testimony, or may submit written comment via the methods below. **Written comments must be submitted by 1:00 pm Friday, September 9, 2022.**

Mail comments to:

Donald E. Gilman River Center
514 Funny River Road
Soldotna, Alaska 99669

Fax comments to:

(907) 260-5992

Email comments to:

planning@kpb.us
KenaiRivCenter@kpb.us

For additional information, contact Morgan Aldridge, maldridge@kpb.us, Donald E. Gilman River Center, (907) 714-2465

KENAI PENINSULA BOROUGH PLANNING COMMISSION

RESOLUTION 2022-42

**A RESOLUTION GRANTING A CONDITIONAL USE PERMIT PURSUANT TO KPB 21.18 FOR THE
CONSTRUCTION OF RIP RAP WITHIN THE 50-FOOT HABITAT PROTECTION DISTRICT OF THE
CROOKED CREEK.**

- WHEREAS,** Chapter 21.18 provides for the approval of Conditional Use Permits for certain activities within the habitat protection district; and
- WHEREAS,** KPB 21.18.081 provides that a conditional use permit is required for construction not meeting the standards of KPB 21.18.071; and
- WHEREAS,** KPB 21.18.091 provides for mitigation measures by the planning department staff to address impacts to the Habitat Protection District from a proposed, ongoing, or completed project; and
- WHEREAS,** public notice was sent to all property owners within a 300-foot radius of the proposed activity as provided in Section 21.11.030; and
- WHEREAS,** public notice was published in the Peninsula Clarion on September 1, 2022 and September 8, 2022 as provided in Section 21.11.020; and
- WHEREAS,** public testimony was received at the September 12, 2022 meeting of the Kenai Peninsula Borough Planning Commission;

**NOW, THEREFORE, BE IT RESOLVED BY THE PLANNING COMMISSION OF THE KENAI
PENINSULA BOROUGH:**

That the Planning Commission makes the following findings of fact pursuant to KPB 21.18:

Section 1. Project Details Within the 50-foot Habitat Protection District

1. Placement of 100 cubic yards of type 2 and 3 rip rap to stabilize the outside bank that has eroded.

Section 2. Findings of fact pursuant to KPB 21.18.081

1. Portions of this proposed project are within the 50-foot habitat protection district as defined by KPB 21.18.040.
2. Pursuant to KPB 21.18.081(B)(5), construction of Transportation and Utility Infrastructure may be approved as a conditional structure/use within the habitat protection district.
3. Pursuant to 21.18.081(D) General Standards, staff finds that the proposed project meets or partially meets the five general standards.
4. Pursuant to KPB 21.18.020(A), this chapter was established to protect and preserve the stability of anadromous fish through controlling shoreline alterations and disturbances along anadromous waters and to preserve nearshore habitat.

5. Pursuant to KPB 21.18.20(B)(5), one purpose of this chapter was established to separate conflicting land uses.
6. This is to be a temporary solution while ADFG seeks funding to remove the failing, non-water dependent weir structures and sheet pile, and to further protect the necessary infrastructure.
7. While this problem has been recognized at the location since 2008, no work has been done to prevent erosion from occurring. Spring 2022 erosion shows the bank is beginning to fail. Without action, the weir infrastructure is at risk. This installation of rip rap will be temporary, and KPB will require the removal of non-water dependent infrastructure prior to the expiration of this permit.
8. Pursuant to KPB 21.06.081(D)(3), the proposed work will occur on the applicant's property and shall not have an adverse effect on adjoining properties.
9. Kenai Peninsula Borough Planning Commission Resolution 2015-35 defines water-dependent as: *"...a use or structure located on, in or adjacent to water areas because the use requires access to the waterbody. The definition is applicable to facilities or activities that must be located at or near the shoreline and within the 50-foot buffer. An activity is considered water dependent if it is dependent on the water as part of the intrinsic nature of its operation. Examples of water dependent facilities may include, but are not limited to, piers, boat ramps, and elevated walkways."* Infrastructure that is not intrinsic to the operations of the facility must be removed before this permit expires in order to bring this property into compliance.
10. The River Center found the application complete and scheduled a public hearing for September 12, 2022.
11. Agency review was distributed on August 26, 2022. No comments or objections have been received from resource agencies to date.
12. Pursuant to KPB 21.11.030, public notice was mailed to all property owners within a radius of 300 feet of the project on August 26, 2022. A total of 8 mailings were sent.
13. Pursuant to KPB 21.11.020, public notice was published in the Peninsula Clarion on September 1, 2022 and September 8, 2022.
14. The applicant is currently in compliance with Borough permits and ordinances.

Section 3. Permit Conditions

1. This facility must come into compliance by removing infrastructure that is not necessary to the operations of the facility prior to the expiration of this permit. Structures required to be removed include: temporary rip rap, sheet piling, unused pump house, and mid-channel steel, formerly used to control water elevations.
2. The rip rap must be designed and installed to meet KPB floodplain requirements.
3. The permittee shall minimize damage to all vegetation and shall revegetate all disturbed areas with native vegetation.
4. For each tree removed, two seedlings less than 5.5-feet tall of a species native to the region will be planted within the 50-foot HPD.
5. Storage or use of fuel is prohibited within 50-feet of any open water.
6. The River Center shall be notified at least 3 days prior to the start of the project.
7. If changes to the approved project described above are proposed prior to or during its siting, construction, or operation, the permittee is required to notify the River Center to determine if additional approval is required.
8. The permittee shall be held responsible for the actions of the contractors, agents, or others who perform work to accomplish the approved plan.
9. The construction or installation phase of this Conditional Use Permit must be completed within two calendar years from the date of the permit's issuance, or the Conditional Use Permit shall

expire. Prior to its expiration date and upon written request, the Planning Director may grant a Conditional Use Permit extension for 12 months (KPB 21.18.081 (H)).

10. In addition to the penalties provided by KPB 21.18.110, and pursuant to KPB 21.50, the permit may be revoked if the permittee fails to comply with the provisions of this chapter or the terms and conditions of a permit issued under this chapter. The Borough Clerk shall provide at least 15 day's written notice to the permittee of a revocation hearing before the hearing officer (KPB 21.18.082).
11. The permittee shall comply with the terms, conditions and requirements of the Kenai Peninsula Borough Code of Ordinances Chapter 21.18, and any regulations adopted pursuant to this chapter.
12. The permittee is responsible for abiding by all other federal, state, and local laws, regulations, and permitting requirements applicable to the project (KPB 21.18.081 (G)).

Section 4. Pursuant to 21.18.081(D) General Standards, the following standards shall be met before conditional use approval may be granted:

1. The use or structure will not cause significant erosion, sedimentation, damage within the habitat protection district, an increase in ground or surface water pollution, and damage to riparian wetlands and riparian ecosystems; **due to the temporary nature of the proposed project, this standard is partially met. Conditions 1 - 6 appear to support this standard.**
2. Granting of the conditional use shall be consistent with the purposes of this chapter, the borough comprehensive plan, other applicable chapters of the borough Code, and other applicable planning documents adopted by the borough; **Findings 1-5 and Conditions 11-12 appear to support this standard.**
3. The development of the use or structure shall not physically damage the adjoining property; **Findings 4, 8 and Condition 2 appear to support this standard.**
4. The proposed use or structure is water-dependent; **due to the temporary nature of the proposed project, this standard is partially met. Finding 9 and Condition 1 appear to support this standard.**
5. Applicant's or owner's compliance with other borough permits and ordinance requirements; **Finding 14 and Conditions 11, 12 appear to support this standard.**

THIS CONDITIONAL USE PERMIT EFFECTIVE ON _____ DAY OF _____, 2022.

Jeremy Brantley, Chairperson
Planning Commission

ATTEST:

Ann Shirnberg
Administrative Assistant

Note: An appeal of a decision of the Planning Commission may be filed to the hearing officer, in accordance with the requirements of the KPB Code of Ordinances, Chapter 21.20.250. An appeal must be filed with the Borough Clerk within 15 days of date of the notice of the decision using the proper forms and be accompanied by the filing and records preparation fee.

E. NEW BUSINESS

2. Conditional Use Permit – PC Resolution 2022-15

**Request: To make improvements to public use facilities
on a parcel with the 50-foot Habitat Protection
District of the Kenai River**

**Petitioner: US Fish & Wildlife Service
Cooper Landing Area**



514 Funny River Road, Soldotna, AK 99669 • (907) 714-2460

Applicant Information:

Name: Andy Loranger

Owner? ☒ Yes ☐ No

Mailing: USFWS Kenai Refuge Manager
PO Box 2139, Soldotna, AK 99669

Phone: (907) 260-2804

Email: andy_loranger@fws.gov

Agent Information: (if applicable)

Name: Alex Jefferies

Mailing: PND Engineers, Inc.
1506 W. 36th Ave., Anchorage, AK 99503

Phone: (907) 561-1011

Email: ajefferies@pndengineers.com

Project Location:

KPB Parcel ID: 02518002

Physical Address: N/A

Waterbody Name: Kenai River, Jean Creek, and adjacent wetlands

River Mile: RM 70 ☒ Right ☐ Left

Subdivision: _____

Lot: _____ Block: _____ Addn/No.: _____

Directions to site: Twenty minutes south of
Cooper Landing, turn east onto Skilak Road, turn off
to Jims' Landing at the first driveway on the left.

Permit Fees: (please select the applicable permit fees)

☐ \$100 - ADNR State Parks Permit

☐ \$300 - KPB Conditional Use Permit

☐ \$50 - KPB Habitat/Floodplain Permit

☐ \$300 - KPB Floodway Development Permit

Project Description: This project is: ☐ New ☒ Existing

Provide a detailed description of your project and all related activities, use additional pages if needed. Include the following information for all existing and proposed structures:

- **Project location & dimensions**
- **Waterbody description & proximity**
- **Proximity to OHW and/or HTL**
- **Construction:** methods, equipment used
- **Filling:** type, amount, acquired from
- **Dredging:** area, volume, disposal site
- **Fuel Storage:** location, quantities, types
- **Excavation:** type, volume, location
- **Vegetation Removal:** location, amount, type
- **Water Withdrawal:** purpose, location, methods, rate, quantity

See attached detailed project description.

Project Questions:

Note: Use Ordinary High Water (OHW) for non-tidal waters, and Mean High Tide (MHT) for tidal waters.

1. Start date: Fall 2022 End date: 2023 Estimated Days of Construction: 365
2. Is the project located within 50 feet of OHW or HTL a waterbody? ☒ Yes ☐ No
3. Does any portion of the project extend **below** the OHW or HTL of the stream or waterbody? ☒ Yes ☐ No
4. Does any portion of the project cantilever or extend **over** the OHW of the waterbody? ☒ Yes ☐ No
5. Will anything be placed below OHW or HTL of the waterbody? ☒ Yes ☐ No
6. Will material be extracted or dredged from the site? ☒ Yes ☐ No
7. Including areas below OHW or HTL, what is the total area (in acres) that will be excavated or dredged?
Total Area: 4.4 Type of Material: gravel See attached project description for details.
Location you will depositing fill: used in uplands parking area or hauled off-site
8. Will any material (including soils, debris, and/or overburden) be used as fill? ☒ Yes ☐ No
Type of material: gravel Amount: 15,000 CY Permanent ☒ or Temporary ☒
Will fill be placed below OHW or HTL: ☒ Yes ☐ No See attached project description for details.
9. List all motorized equipment to be used in this project, including access route to site, any stream or waterbody crossings, and (if applicable) how long equipment will be used below OHW or HTL: Excavator (from bank)
used for rootwad install and dredging for ramp.
10. Is any portion of the work already complete? ☐ Yes ☒ No
If yes, describe: _____

Signature & Certification:

Application is hereby made requesting permit(s) to authorize the work described in this application form. I certify the information in this application is complete and accurate.

Applicant Signature (required)

Date

1/20/22

Agent Signature (if applicable)

Date

Please make checks payable to the applicable agencies:

State of Alaska

Kenai Peninsula Borough

Prepared for:

U.S. Fish & Wildlife Service
1011 E. Tudor Road
Anchorage, AK 99503



JIMS' LANDING BOAT LAUNCH ACCESS AND PARKING IMPROVEMENTS

Kenai National Wildlife Refuge

POA-2003-340 PROJECT DESCRIPTION



Prepared by:

PND Engineers, Inc.
1506 West 36th Avenue
Anchorage, AK 99503

Project Description

Jims' Landing Boat Launch Access and Parking Improvements

Kenai National Wildlife Refuge Task Order NO. 140F0720F0049

1 Purpose and Need Statement

The U.S. Fish & Wildlife Service (USFWS or Service) is proposing to improve the Jims' Landing facility, situated along the Kenai River. The Jims' Landing boat ramp and parking facility is within the Skilak Wildlife Recreation Area (WRA), which is a component of the Kenai National Wildlife Refuge (KNWR). This recreational area offers necessary facilities (e.g., boat launch and retrieval sites on the upper Kenai River) between the Russian River and Skilak Lake.

1.1 Purpose

The purpose of the proposed action is to address public safety and pedestrian and vehicle access needs of Jims' Landing recreational boating activities by improving the boat ramp launch and retrieval area, realigning and improving roads and trails to improve vehicle and pedestrian circulation, expanding parking areas, and adding new signage.

The project includes facility and ramp improvements and additional parking on-site, as well as off-site along Skilak Lake Road.

In addition to improving public access and safety, protecting the wetland and riparian habitats is integral to the purpose and need of the proposed action.

1.2 Need

Jims' Landing is a high-use boat ramp that offers access to the Kenai River between the Russian River and Skilak Lake. Annual visitation is estimated at approximately 42,000 visitors (USFWS personal communication). The boat ramp is used primarily as a landing, or take-out, for drift boats and inflatables (such as rafts), providing the last take-out prior to the Kenai River canyon above Skilak Lake. Novice boaters, and those unfamiliar with the landing, are often caught off guard by the ramp's location and the high river velocities. This reach of the Kenai River has some of the highest flow velocities. The ramp's location on an outer bend of the Kenai River, coupled with the high river flow velocity, lends itself to scour and bank erosion. The proposed action will improve the boat ramp function by addressing the public need for access and safety while maintaining the habitat function of the area.

In addition to the improvements to the boat ramp, the project proposes to increase parking capacity for public and commercial operators. The parking areas at Jims' Landing are used mostly by public day use visitors and are generally at maximum capacity and chaotic during the fishing season (June through October). Other users of the parking area include overnight campers and hunters. Due to the limited

public parking capacity, all commercial operators are currently required to use the overflow parking on the north side of the Sterling Highway. This creates a safety hazard for operators and highway vehicles because the commercial operators must walk across the highway to Skilak Lake Road. The risk of accidents will increase when this section of highway is improved by ADOT&PF's Sterling Highway MP 45 to 60 Project because the vehicle speed is anticipated to increase. Off-site parking is included in the proposed project to reduce the need for commercial operators to park on the north side of Sterling Highway.

The Kenai River provides a priceless spawning and rearing habitat for millions of salmon. Accordingly, in addition to improving public access and safety, protecting the wetland and riparian habitats is integral to the purpose and need of the proposed action. The specific needs and recommendations are further discussed in the project's Environmental Assessment (EA).



Figure 1 - Overview of Project Vicinity

2 Location

Latitude	Longitude	USGS Quad
60.481844° N	150.114697° W	Kenai B-1 NE

Section(s)	Township	Range	Meridian
35	005N	005W	Seward

2.1 Driving Instructions

From Anchorage, head south on the Seward Highway for approximately 80 miles; take a slight right to exit onto the Sterling Highway heading into Cooper Landing; after approximately 20 miles, take a left onto Skilak Lake Road; turn off to Jims' Landing at the first driveway on the left.

2.2 Adjacent Land Ownership

The project is within the USFWS Kenai National Wildlife Refuge. The closest adjacent landowner is the U.S. Department of Agriculture (U.S. Forest Service), with the Chugach National Forest approximately 3.5 miles to the east, and approximately 5 river miles upstream near Sportsman's Landing.

Adjacent Kenai Peninsula Borough Parcel ID(s)	Owner
02518003, 13506008, 13506007, 02517001	USFWS

3 Proposed Action

The goal of the Jims' Landing Access Improvements project is to improve public safety and recreational experience at the Jims' Landing facility. The proposed action will increase parking capacity, improve traffic circulation, and improve boat ramp safety while minimizing impacts to vegetation, wetlands, riparian habitat, and floodplains. The project will provide one-way traffic circulation, reduce congestion, increase parking capacity; add an off-site parking area with a pedestrian path to connect off-site and on-site parking areas; add pull-off areas; and reconstruct the boat ramp area for safer boat launch and landing conditions. See the attached permit drawings for more information.

3.1 Temporary Construction Access

Laydown and staging will be on previously disturbed areas or areas that will be incorporated into the project footprint. The off-site parking footprint will serve as a staging area

Vegetation in temporary disturbance areas will be cut back to the ground to allow for regrowth upon completion of construction to promote revegetation. The minimum number of trees will be removed or have limbs cut to facilitate access by construction vehicles. For temporary disturbance areas, geotextile

will be used as an underlayment to separate temporary fills from native soils and vegetation or a wetland mat will be used to protect vegetation. Upon completion, all temporary disturbance areas will be restored to previous condition, to the extent practicable.

3.2 Jims' Landing Entrance and Access Roads

The access road will provide one-way circulation around parking areas and approaching the boat ramp, measuring approximately 1,500 feet. Drive aisles with trailer parking access will be 20 feet wide, and 16 feet wide otherwise. At the entrance, a traffic island will be constructed to separate entry and exit of vehicles and clearly establish the one-way traffic circulation direction. The access roads will be paved with asphalt. This will provide increased resistance to erosion and decrease maintenance costs.

Two new pull-offs will be constructed along the access road. A pull-off measuring 152 feet by 12 feet just to the west of the boat ramp will be designated as a staging area for boaters waiting to use the ramp. The pull-off to the east of the boat ramp, measuring 236 feet by 15 feet, will be designated as a tie-down area for securing trailers prior to exiting Jims' Landing. The existing pull-off at the southeast section of the access road, measuring approximately 100 feet by 14 feet, will be restored to natural conditions and planted.

3.3 Off-site Parking and Pedestrian Walkway

On-site parking capacity will be increased to 46 angled trailer parking stalls (measuring 11 feet by 45 feet) and 16 passenger vehicle spaces (measuring 10 feet by 20 feet). Two trailer parking stalls and two passenger vehicle stalls, adjacent to the restroom, will be improved to meet ADA requirements (such as parking dimensions and grade). In addition to on-site parking, off-site parking will be added to the south of Skilak Lake Road, adjacent to Jims' Landing. This off-site parking footprint will be approximately 1.0 acre, measuring 400 feet by 110 feet. The off-site parking lot provides one-way traffic through the parking area with 20-foot-wide aisles and 26 angled trailer stalls, measuring 11 feet by 45 feet. Surfacing for parking areas will be gravel.

An elevated pedestrian walkway measuring 150 feet by 6 feet will be constructed between the parking area and Jims' Landing. The walkway will be constructed from elevated light-penetrating materials.

3.4 Pedestrian Path, Double Vault Toilet, and Viewing Platform

A 5-foot-wide asphalt-paved pedestrian path will be constructed along the north side of the access road and will connect the off-site parking pedestrian walkway to the single-occupant vault toilet. The path will be approximately 800 feet in length.

A new double vault restroom will be constructed approximately 180 feet west of its existing location and modified to meet ADA requirements. New pits will be excavated and the former pits will be backfilled.

The existing potable water well, located adjacent to the ramp, will be decommissioned. No running water will be available at Jims' Landing.

An elevated viewing platform will be constructed near the upstream end of the boat ramp in the area near the root wad installation. The 30-foot by 20-foot viewing platform will be constructed with light-

penetrating material. The viewing platform is intended to improve wildlife viewing opportunities and reduce congestion by separating pedestrians from the boat ramp area.

3.5 Boat Ramp

The new boat ramp will measure approximately 110 feet by 50 feet. The new ramp surface will consist of articulated concrete block (ACB) mat. Prior to installing the ACB mat, the existing ramp will be regraded from a 20 percent slope to a 13 percent slope. A 48-foot section of the ramp will be designated as an active ramp area for loading and unloading boats. The active ramp area will be pulled inland 15 feet from its existing location to provide a backwater eddy with reduced velocities for safer loading and unloading of boats. The remaining ramp downstream of the active area, will be used for landing and staging.

Signage alerting boaters of the Jims' Landing boat ramp approach will be located on the riverbank approximately 600 feet upstream of the ramp.

3.6 Bank Stabilization

The bank just upstream of the landing is currently undercut and experiencing active erosion. The project proposes to install bank stabilization along the 40 feet of bank just upstream of the ramp. Bank stabilization will reduce river flow velocity at the ramp and erosion of the bank. The bank stabilization will consist of root wad revetment, using log boles measuring approximately 8 to 10 feet long and embedded into the riverbank. Rebar and header and toe logs may be used to secure the bole. Installation of the root wads will require the removal of all vegetation and trees in this area and the temporary removal of a portion of the bank for placement of the root wad. Above the root wad installation, the riverbank area excavated for installation of the root wads will be backfilled with 8- to 12-inch-diameter rock in the cribbing area, and built back up to existing grade with soil wraps and brush layering. The existing vegetated mat will be salvaged and placed back onto the soil to the extent practicable. Willow cuttings will be installed along the riverbank edge for revegetation and screening.

The majority of the existing root wad bank stabilization is in disrepair due to erosion. A site visit was conducted on March 24, 2022 with USACE, USFWS, and personnel from the Kenai River Center (representing the Alaska Department of Fish & Game, Alaska Department of Natural Resources Division of Parks and Outdoor Recreation, and the Kenai Peninsula Borough) to investigate the existing revetment. It was determined that the majority of the existing bank stabilization needed to be replaced and additional protection was needed. Approximately 400 feet of root wad revetment will be replaced, extending upstream from the new root wads adjacent to the ramp. Upstream of this section of bank, an additional 180 feet of root wads will be installed and tied into existing root wads at the far upstream end of the site. These existing root wads at the far upstream end were in good condition at the time of the site visit.

4 Construction

4.1 Schedule

Construction is planned to take place beginning fall of 2022. Project construction will be conducted during non-winter months. Vegetation clearing will be completed to avoid the bird nesting period (May

1 – July 15) to the extent practicable. Ramp construction and facility improvements that may limit user access will be avoided during peak usage season (June-October). Construction of the main facility and parking will be phased to continue to accommodate users during the summer.

The off-site parking area will provide temporary construction staging. The temporary staging area will help alleviate congestion entering and exiting the facility; this area should be developed prior to peak use.

Final compaction and surfacing could be completed later in the season, prior to periods of prolonged freezing. Initial ramp grading and expansion could be completed prior to peak season, with final grading and surfacing completed during the fall. It may be possible to phase construction tasks at the ramp to reduce ramp closures.

4.2 Construction Sequence

Generally, the project construction for each area will be sequenced as follows:

1. Delineate construction area and mark vegetation and trees to be protected and preserved.
2. Install erosion and sediment control best management practices and install traffic controls.
3. Mobilize equipment and materials.
4. Clear the project footprint such as trimming or removing trees, grubbing vegetation, grading, and excavation.
5. Grade project footprint and apply gravel to road and parking including embankments. Compact surfaces.
6. Install elevated walkway.
7. Apply asphalt, gravel surfacing, or ACB mat, where applicable.
8. Install new double vault restroom
9. Prepare bank stabilization and install root wads.
10. Reseed and replant temporarily disturbed areas where applicable (e.g., after root wad installation, along walkways and path).
11. Install signage and viewing platform.
12. Demobilize equipment and materials.
13. Remove traffic control.
14. Remove erosion and sediment control devices and other best management practices (BMPs).

Stream isolation may be required to construct the root wad bank stabilization. Construction will take place during low flows and, if isolation is required, a cofferdam will be installed around the work area. At a minimum, a barrier, such as silt fence, will be installed to reduce velocities in the work area. An excavator will be used (from the bank) to excavate and place root wads. Excavation and placement of the ramp surface will be conducted at low flows to avoid the need for isolation. Equipment used for construction of the ramp will be used from land to grade material and place the ACB mats.

4.3 Equipment

The project will require equipment typical of heavy civil roadway construction including excavators, bulldozers, loaders, vibratory compactors, motor graders, paving screed, pavers, various dump trucks, Hydro

Ax, water trucks, vacuum trucks, as well as other delivery, maintenance, and personnel vehicles. Construction may also require supporting equipment such as skid steers, forklifts, generators, pumps, augers, chainsaws, and an assortment of hand tools. The maximum noise level produced by equipment during construction is 85 dBA (measured 50 feet from noise source).

4.4 Staging and Construction Access

Laydown and staging will use previously disturbed areas or those areas that will be incorporated into the overall project footprint (e.g., the off-site parking area). Access to Jims' Landing will utilize the existing access road.

4.5 Dust, Erosion, and Sediment Controls

The contractor will prepare and maintain a stormwater pollution prevention plan (SWPPP) in accordance with all pertinent regulations and guidelines. Standard dust, erosion, and sedimentation controls will be used on this project. Water and dust palliatives may be use on gravel surfaces to manage dust. Paving of heavily-used traffic surfaces will also reduce fugitive dust levels. Stormwater BMPs will be used during and after construction to stabilize unvegetated slopes to prevent erosion and to collect and treat stormwater around the site to mitigate sedimentation. Sensitive areas, such as waterbodies and wetlands, will be protected by BMPs. Stormwater will be directed to the project perimeter into the natural vegetation buffer for treatment.

4.6 Best Management Practices (BMPs)

Construction will use the following BMPs to prevent impacts to waters of the U.S. (WOTUS) and to other protected resources:

- Fill materials placed in WOTUS will be clean blasted rock with relatively few fines to reduce impacts from turbidity and/or sedimentation.
- Delineate work and staging areas. Clearly mark clearing and fill boundaries to avoid accidental impacts from inadvertent access, equipment operation, clearing, and fill material placement to wetlands and waters.
- Contractor will not place fill material or debris from clearing outside of the designated construction zone.
- Equipment storage, fueling, maintenance, and cleaning areas will be designated and maintained to prevent discharge of pollutants to a waterway.
- Fuels, lubricants, and other hazardous substances used during construction will not be stored below the ordinary highwater mark.
- Do not store fuel, fuel vehicles, or perform maintenance within 100 feet of wetlands.
- Fuel hoses, oil or fuel transfer valves and fittings will be inspected on a regular basis for drips or leaks in order to prevent spills or runoff of deleterious materials into surface waters.
- Equipment and material will be delivered and stored at an upland, approved staging area. It will be handled and stored to ensure no unintended ground disturbance is done to the staging area or surrounding wetlands or streams.
- The contractor will be required to prepare and implement a SPCC Plan during construction.

- Discharge of potential pollutants (i.e., sediment, trash, petroleum, concrete, wood products, sanitary waste, vehicle, or equipment wash water, etc.) from the construction and staging area will be prevented using source control to the maximum extent practicable.
- All contaminated material will be handled and disposed of in accordance with ADEC regulations.
- Review of best available data on migratory bird nesting will be conducted prior to construction to prevent impacts to protected bird species during clearing (if applicable). If possible, clearing will be performed outside of seasonal nesting windows (generally May 1 through July 15, but begins for nesting raptors April 15 and for owls in March).
- Before the start of ground-disturbing activities, if occurring within the nesting season, the Service will conduct visual preconstruction surveys for nesting birds protected by the Migratory Bird Treaty Act (MBTA), if construction and habitat removal activities are scheduled during the bird breeding season (generally May 1 through July 15, but begins for nesting raptors April 15 and for owls in March). In the event active bird nests are encountered during the pre-construction survey, the biologist in conjunction with the Service will establish nest avoidance buffer zones as appropriate. The buffer distances will be consistent with the intent of the MBTA. The Service will delineate nest avoidance buffers established for ground-nesting birds in a manner that does not create predatory bird perch points in proximity (150 feet) to the active nest site. The Service will periodically monitor active bird nests and will maintain the nest avoidance buffer zone until nestlings have fledged and are no longer reliant on the nest or parental care for survival or the nest is abandoned (as determined by the Service). If work stops for more than 14 days during the nesting window, nest surveys will be repeated within the footprint of the project. Equipment, supplies, and vehicles will also be surveyed for nests.
- Maintain a buffer of at least 660 feet between all construction activities and active eagle nests.
- Clearing will be selective and the minimum width necessary for project construction and operation. Existing vegetation to be preserved will be delineated prior to clearing and grubbing, including a root protection zone, to avoid accidental clearing or damage to existing vegetation. Removal of trees will be avoided as much as possible. Contractor will not clear vegetation or run equipment outside the designated clearing zone.
- When clearing areas where revegetation is desired, cut vegetation flush with the ground to allow passive revegetation of disturbed areas.
- Retain native topsoil for future use on site. Native topsoil will be weed-free.
- Stabilize and re-vegetate disturbed areas after work is completed.
- Install culverts, wetland mat, or other methods in wetland areas, as appropriate, to minimize effects on natural drainage patterns, vegetation, and to maintain hydrologic flow.
- Construction equipment will be cleaned to remove noxious weeds/seeds, aquatic invasive species, and petroleum products prior to mobilizing to the job site.
- The following BMPs will be utilized to prevent stormwater run-off during construction:
 - Temporary erosion and sediment controls will be installed, maintained, replaced, or upgraded as necessary to ensure their effectiveness. These controls may include:
 - Watering for dust control
 - Temporary orange plastic construction fencing for site delineation

- Silt fence
- Straw wattles
- All construction work below ordinary high water will take place within the permitted in-water work period.
- Isolation may be required for construction of areas below ordinary high water to prevent sedimentation or increase in turbidity in the Kenai River. This could be completed through use of silt curtain or cofferdam.
- Disturbed areas, including staging areas or roads that are disturbed or damaged by construction equipment, traffic, or materials, will be temporarily protected with straw, compost, mulch, etc., as soon as practicable. After disturbance, these sections will be repaired and revegetated and stabilized.
- Erosion control measures will be left in place until vegetation becomes established and covers more than 70 percent of disturbed area.

4.7 Quantities

The total project footprint is approximately 4.4 acres, including a total of approximately 15,000 cubic yards (CY) of fill materials and 8,000 CY of excavation (cut). Fill quantities include gravel fill, concrete blocks for the boat ramp, concrete for asphalt edge protection around the perimeter of the site, and cobbles in bank stabilization areas. Asphalt quantities are provided separately. Approximately 90 trees greater than 12-inch diameter at breast height will be removed.

The following tables summarize permanent and temporary impacts to wetlands and other waters of the U.S. Excavation volumes in wetlands include sub-excavation that will be backfilled within the same footprint. These quantities are captured in both the presented cut and fill volumes.

4.7.1 Permanent Impacts

WOTUS Type	Fill Volume (CY)	Cut Volume (CY)	Asphalt Volume (CY)	Impact Area (SQFT)	Impact Area (ACRES)
PSS1	1,130	330	28	9,650	0.22
PEM1/PSS1	25	10	0	525	0.01
R3UB	30	40	0.5	665	0.02
Below OHW	1,785	500	0	10,160	0.23
Total:	2,970	880	28.5	21,000	0.48

4.7.2 Temporary Impacts

Temporary impacts, associated with construction, include impacts below ordinary high water associated with installation of the bank stabilization and ramp improvements.

WOTUS Type	Fill Volume (CY)	Cut Volume (CY)	Impact Area (SQFT)	Impact Area (ACRES)
PSS1	-	-	-	-
R3UB	-	15	300	0.01
Below OHW	-	195	4,490	0.10
Total:	0	210	4,790	0.11

5 Avoidance, Minimization, and Mitigation

In order to meet the needs of the project and due to project site conditions, complete avoidance of wetland impacts is not practicable. Measures were incorporated to avoid, minimize, and mitigate impacts to sensitive species, the public, wetlands, and non-wetland waters in the study area.

A survey of wetlands and biological resources was conducted in 2018 by Farmer Surveying and was supplemented by further desktop investigation by PND Engineers, Inc. (PND) in January 2021. This analysis is documented in the project's *Vegetation and Wetland Resources Study*. Following these investigations, modifications to project design were made to avoid impacts (where possible) to wetlands and WOTUS. Where wetland impacts could not be avoided, the magnitude of impacts was reduced to the minimum extent possible.

5.1 Avoidance

Impacts to wetland and water resources were avoided or reduced during design to the extent practicable. Project impacts are contained as much as possible within the existing facility footprint and new facilities were located outside of delineated wetlands whenever feasible. Another alternative, meeting the project purpose and need, was developed during schematic design, and dismissed due to higher wetland impacts (approximately 0.4 acres of additional wetland impacts compared to the selected alternative). Additional impacts were avoided by rejecting an alternative option for off-site parking and off-site parking access within wetlands. This alternative is discussed at greater length in the project's EA and earlier schematic designs.

Construction schedules are planned to avoid impacts to sensitive species while balancing impacts to site users. A list of BMPs (Section 4.6) will be incorporated into project requirements to avoid unplanned impacts.

5.2 Minimization

Where impacts could not be avoided, they were minimized during design to the extent practicable by limiting project footprints to the minimum required to meet the project need, steepening embankments in fill areas, and staging construction to minimize equipment and material storage footprints. Elevated walkways were incorporated in wetland areas and light-penetrating materials are specified for the walkways and viewing platform. A fence will be added between the parking and staging areas and the river bank to protect unimpacted areas from erosion and public access.

For areas to be temporarily impacted by construction, vegetation will be cleared to ground level within the construction access footprint to allow for quicker regrowth, and geotextile will be placed on grade prior to placement of material to facilitate removal after construction. A list of BMPs (Section 4.6) will be incorporated into project requirements to minimize planned impacts.

Due to anticipated frequent floods within the project footprint, a low-water crossing will be installed at a naturally low section of the access road to provide hydrologic connectivity between the Kenai River and wetlands adjacent to Jean Creek. This crossing will be hardened to prevent erosion and associated sedimentation into wetlands during flood events.

In bank areas requiring stabilization, bioengineering techniques including brush layering and root wad stabilization with willow plantings were utilized instead of riprap. These alternatives preserve some of the natural characteristics and allow for revegetation, as opposed to the use of hardened surfaces or riprap.

5.3 Mitigation

Impacts outside of permanent project footprints will be restored to previous conditions to the extent practicable. The project provides improvements to certain WOTUS functional values, including improving water quality through bank stabilization and increases in recreational social values through the installation of viewing platforms and boardwalks.

Compensatory mitigation is not proposed for this project as the project is intended to improve safety at a public facility and to mitigate potential impacts to water quality from seasonal flooding and bank erosion. Proposed BMPs are comprehensive and will prevent negative impacts to water quality or protected resources during construction.

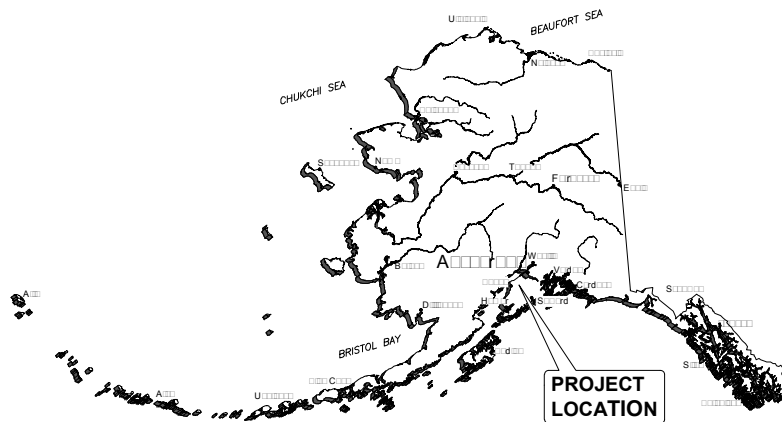
6 References

- PND Engineers, Inc. 2021. Jims' Landing Access Improvements Kenai National Wildlife Refuge Draft Environmental Assessment. Prepared for USFWS.
- PND Engineers, Inc. 2021. Jims' Landing Boat Launch Access and Parking Improvements Kenai National Wildlife Refuge Vegetation and Wetland Resources Study, Rev. 1. Prepared for USFWS.
- PND Engineers, Inc. 2021. Jims' Landing Boat Launch Access and Parking Improvements Kenai National Wildlife Refuge Wildlife Resources Study, Rev. 1. Prepared for USFWS.

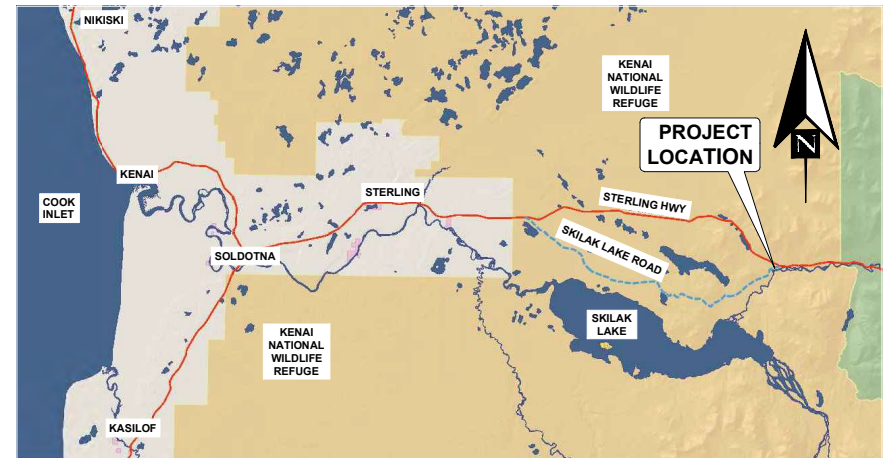


JIMS' LANDING BOAT LAUNCH ACCESS AND PARKING IMPROVEMENTS

MARCH 2022
KENAI NATIONAL WILDLIFE REFUGE, AK



STATE OF ALASKA



SHEET INDEX

SHEET TITLE	SHEET NUMBER
COVER SHEET	1
GENERAL NOTES, ABBREVIATIONS, LEGEND	2
EXISTING CONDITIONS AND SURVEY CONTROL	3
DEMOLITION PLAN	4
PROJECT OVERVIEW PLAN	5
SITE PLAN	6
SITE PLAN	7
SITE PLAN	8
LINE AND CURVE TABLES	9
SITE PLAN - OFFSITE PARKING	10
BOAT RAMP SITE PLAN	11
ROOTWAD REPAIR SITE PLAN	12
SITE SECTIONS	13
SITE SECTIONS	14
GRADING PLAN	15
GRADING PLAN	16
GRADING PLAN	17
LAYOUT POINT TABLES	18

SHEET INDEX CONT.

SHEET TITLE	SHEET NUMBER
GRADING PLAN - OFFSITE PARKING	19
SIGNING AND STRIPING PLAN	20
SIGNING AND STRIPING PLAN	21
SIGNING AND STRIPING PLAN	22
SIGNING AND STRIPING PLAN - OFFSITE PARKING	23
SIGN SCHEDULE AND FENCE LAYOUT	24
SIGNING AND STRIPING - DETAILS	25
CIVIL DETAILS	26
CIVIL DETAILS	27
CIVIL DETAILS	28
CIVIL DETAILS	29
EROSION AND SEDIMENT CONTROL PLAN	30
POTENTIAL PROJECT PHASING PLAN	31
LANDSCAPE PLAN	32
LANDSCAPE PLAN	33
LANDSCAPE PLAN - OFFSITE PARKING	34
LANDSCAPE PLAN - OFFSITE PARKING	35
LANDSCAPE DETAILS	36
LANDSCAPE DETAILS	37

VERIFY SCALE
THIS BAR IS
ONE INCH ON
ORIGINAL DRAWING
0" = 1"
ADJUST SCALES
ACCORDINGLY, IF
NOT ONE INCH
ON THIS SHEET

P | N | D
ENGINEERS, INC.

Corvus Design
Landscape Architecture

REV.	DATE	DESCRIPTION	BY
UNITED STATES DEPARTMENT OF THE INTERIOR FISH AND WILDLIFE SERVICE REGIONS 1, 7 & 8 OFFICE OF ENGINEERING PORTLAND, OREGON			
SUBMITTED BY PROJECT MANAGER		KENAI NATIONAL WILDLIFE REFUGE	
REVIEWED FOR SAFETY COMPLIANCE		JIMS' LANDING BOAT LAUNCH	
REVIEWED FOR ENVIRONMENTAL COMPLIANCE		COVER SHEET	
REVIEWED FOR ADA COMPLIANCE			
CERTIFIED TO CFR 435 COMPLIANCE (ENERGY)			
SUBMITTED BY REGIONAL ENGINEER		KENAI PENINSULA BOROUGH ALASKA	
SURVEYED	IB	DESIGNED	JG
DATE	3/18/22	DRAWN	RC
PROFESSIONAL REVIEW		CHECKED	PK
		DRAWING NO.	7R-AK-10035092-1.0

SHEET 01 of 37

GENERAL NOTES:

OWNER: US FISH & WILDLIFE SERVICE (USFWS)
SEE PROJECT SPECIFICATIONS, SUPPLEMENTAL CONDITIONS, REPORTS, AND
PERMITS FOR ADDITIONAL REQUIREMENTS AND INFORMATION.

SURVEY INFORMATION

THE BASIS FOR COORDINATES ARE NAD83, ALASKA STATE PLANE ZONE 4 IN
U.S. SURVEY FEET. VERTICAL DATUM IS NAVD88. EXISTING MONUMENTATION
AND CONTROL POINTS ARE SHOWN ON EXISTING CONDITIONS AND SURVEY
CONTROL SHEET. SEE EXISTING CONDITIONS AND SURVEY CONTROL SHEET FOR
ADDITIONAL INFORMATION. CONTRACTOR SHALL PROVIDE QUALIFIED SURVEYORS
TO ESTABLISH AND MAINTAIN ADDITIONAL CONTROL AS REQUIRED.

DESIGN CRITERIA

WATER LEVEL AT BOAT RAMP

HIGH WATER LEVEL = +278.5' (MID-TO-LATE SUMMER)
ORDINARY HIGH WATER = +276.2'
EARLY SUMMER LOW WATER LEVEL = +275.7' (MAY AVERAGE)

LIVE LOADS

BOAT RAMP = AASHTO HS-20 & 966 LOADER w/ FULL BUCKET
BOARDWALK = UNIFORM 60 PSF, 400 LB CONCENTRATED OVER A 1SF AREA

DESIGN VEHICLE (TURNING MOVEMENTS)

22 FT TRUCK WITH 18 FT TRAILER. 42 FT TOTAL LENGTH, 8 FT WIDTH










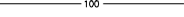

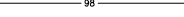











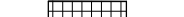



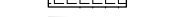



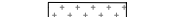





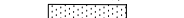

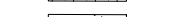





SNOW LOAD

BOARDWALK = 70 PSF UNIFORM

SEISMIC (BOARDWALK)

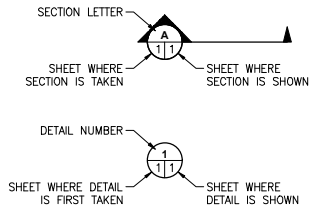
$S_a = 1.5$ SITE CLASS = D
 $S_1 = 0.695$ DESIGN CATEGORY = D
 $S_{ps} = 1.2$ RISK CATEGORY = II
IMPORTANCE CATEGORY = 1.0

LEGEND

EXISTING	PROPOSED
	
	
	
	
	
	
	
	
	
	
	
	
	
	
	
	
	
	
	
	
	
	
	
	

ABBREVIATIONS

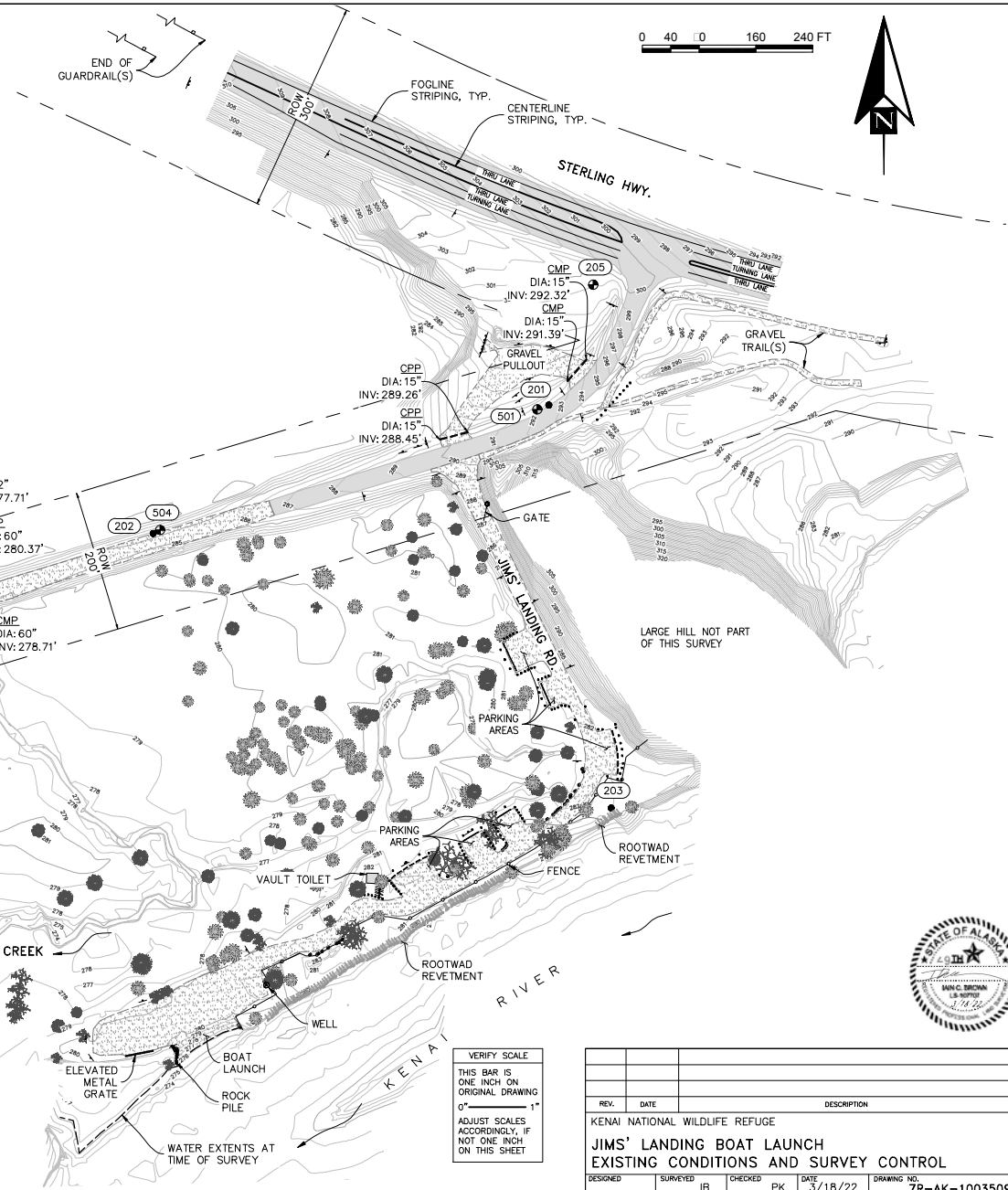
AASHTO	AMERICAN ASSOCIATION OF STATE HIGHWAY TRANSPORTATION OFFICIALS	NO.	NUMBER
ACB	ARTICULATED CONCRETE BLOCK	NTS	NOT TO SCALE
ADA	AMERICANS WITH DISABILITIES ACT	O.C.	ON CENTER
ADOT&PF	ALASKA DEPARTMENT OF TRANSPORTATION & PUBLIC FACILITIES	OHW	ORDINARY HIGH WATER
AK	ALASKA	P	PIPE
ALCAP	ALUMINUM CAP	PT	PRESSURE TREATED
ALMON	ALUMINUM MONUMENT	QTY	QUANTITY
AVAP	AS VERTICAL AS POSSIBLE	R	RADIUS
CAD	COMPUTER-AIDED DESIGN	RD	ROAD
CFS	CUBIC FEET PER SECOND	REV.	REVISION
CGP	CONSTRUCTION GENERAL PERMIT	ROW	RIGHT OF WAY
CIP	CAST-IN-PLACE	RTK	REAL TIME KINEMATIC
CLR	CLEAR, CLEARANCE	SCHED	SCHEDULE
CMP	CORRUGATED METAL PIPE	SS	STAINLESS STEEL
CONC	CONCRETE	STD	STANDARD
CONT.	CONTINUED	SWPPP	STORM WATER POLLUTION PREVENTION PLAN
CPEP	CORRUGATED POLYETHYLENE PIPE	TBD	TO BE DETERMINED
CY	CUBIC YARD	THRU	THROUGH
DIA.	DIAMETER	TYP	TYPICAL
DNR	DEPARTMENT OF NATURAL RESOURCES	UNO	UNLESS NOTED OTHERWISE
DWGS	DRAWINGS	USFWS	US FISH & WILDLIFE SERVICE
EA	EACH	V. VERT	VERTICAL
ELEV	ELEVATION	WWF	WELDED WIRE FABRIC
EW	EACH WAY	w/	WITH
FG	FINISHED GRADE	Ø	DIAMETER
FHWA	FEDERAL HIGHWAY ADMINISTRATION	±	PLUS OR MINUS
FT	FEET		
GLB	GLUE LAMINATED BEAM/TIMBER		
GNSS	GLOBAL NAVIGATION SATELLITE SYSTEM		
HMA	HOT MIX ASPHALT		
HWY	HIGHWAY		
H, HORIZ	HORIZONTAL		
ID	INNER DIAMETER		
INV	INVERT		
IN	INCHES		
LF	LINEAR FOOT		
MAX	MAXIMUM		
MIN	MINIMUM		
MPH	MILES PER HOUR		
NA, N/A	NOT APPLICABLE		
NFS	NON FROST SUSCEPTIBLE		
NIC	NOT IN CONTRACT		



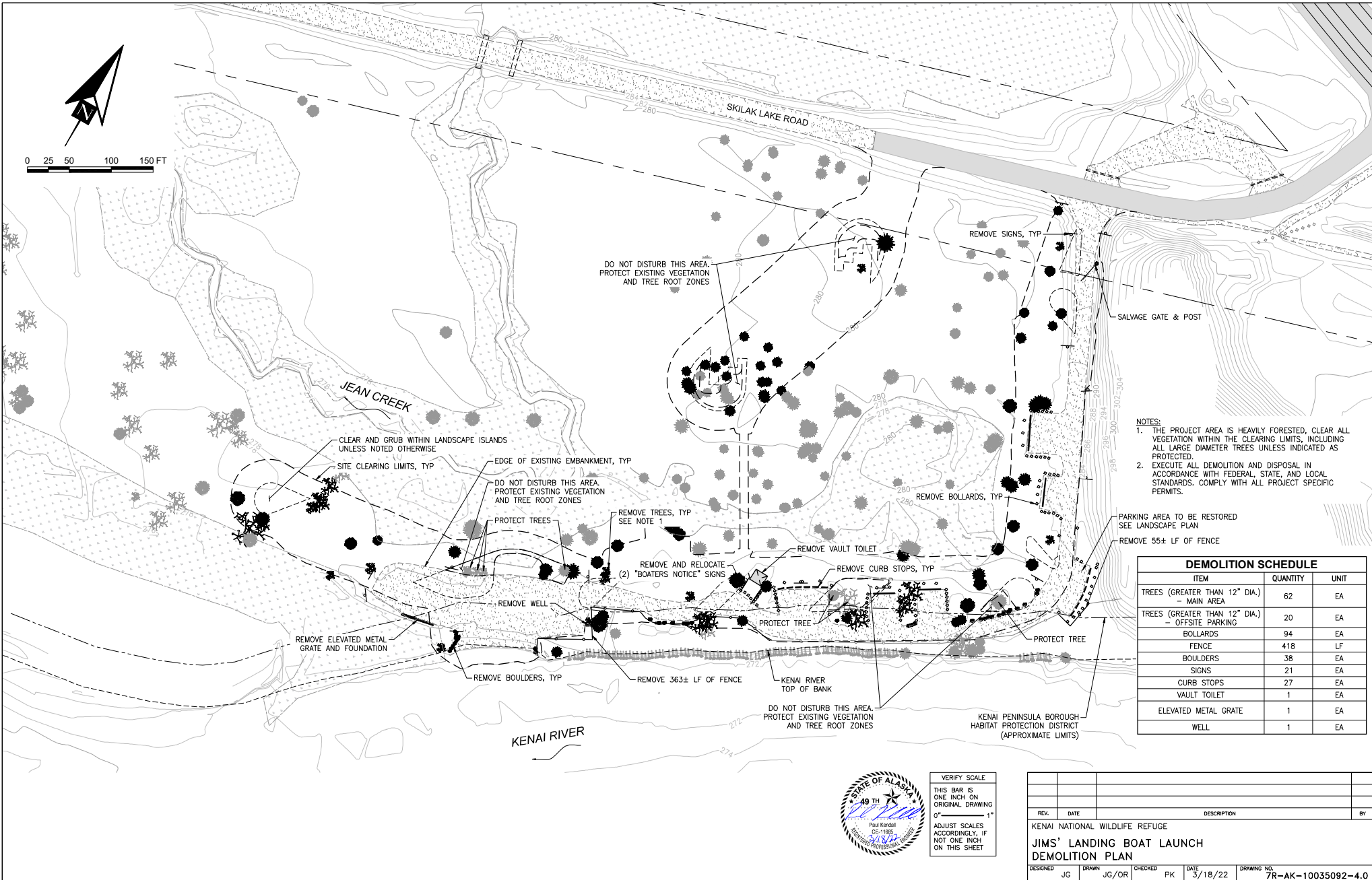
VERIFY SCALE
THIS BAR IS ONE INCH ON ORIGINAL DRAWING
0" = 1"
ADJUST SCALES ACCORDINGLY, IF NOT ONE INCH ON THIS SHEET

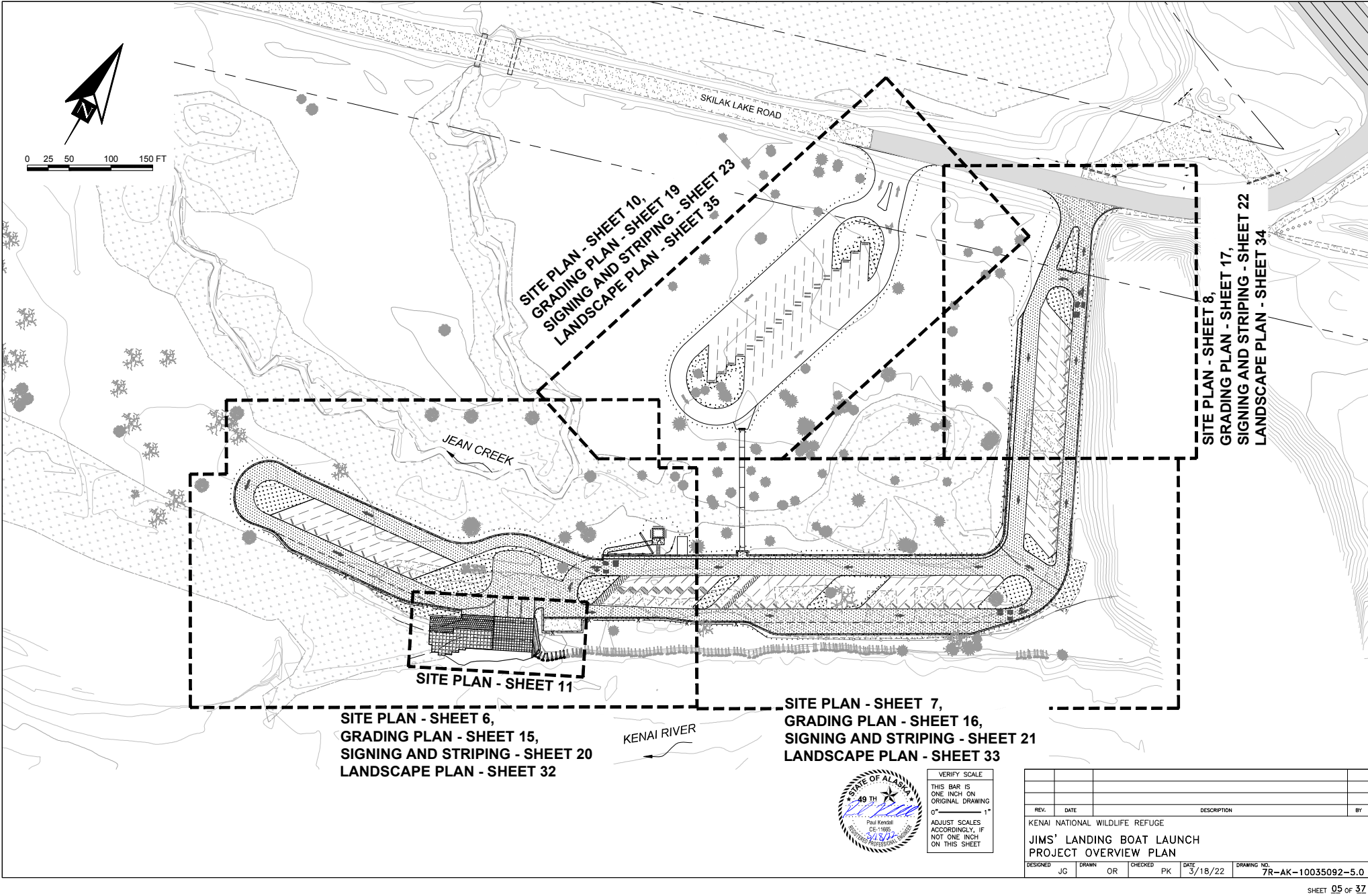
REV.	DATE	DESCRIPTION	BY
KENAI NATIONAL WILDLIFE REFUGE			
JIMS' LANDING BOAT LAUNCH			
GENERAL NOTES, ABBREVIATIONS, LEGEND			
DESIGNED	JG	DRAWN	RC
CHECKED	PK	DATE	3/18/22
DRAWING NO.	7R-AK-10035092-2.0		

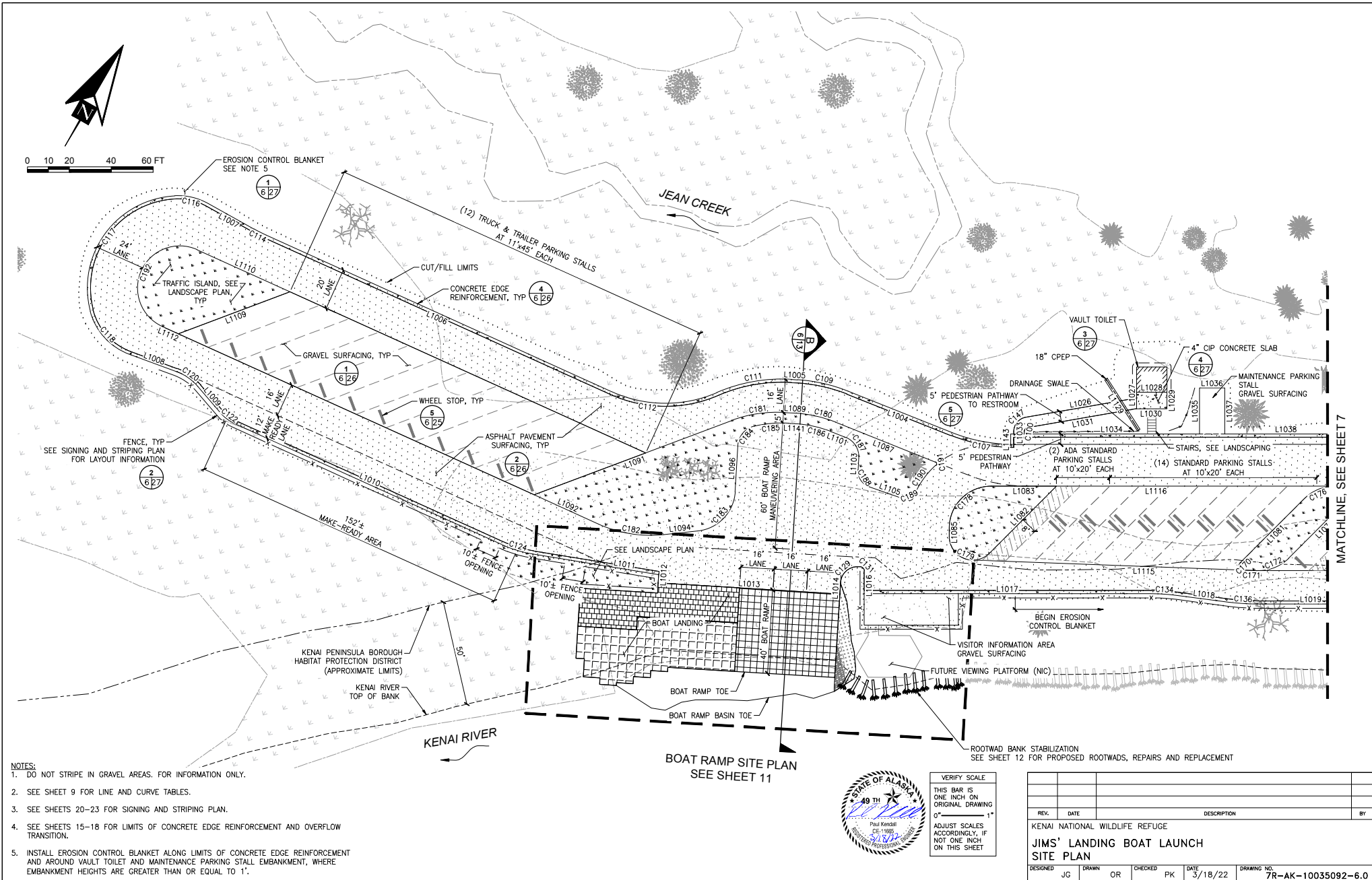
1. THE BASIS OF COORDINATES FOR THIS SURVEY IS NAD83, ALASKA STATE PLANE ZONE 4 IN U.S. SURVEY FEET, DERIVED FROM AND HOLDING THE PUBLISHED VALUES FOR CONTROL POINT #5 (205 THIS SURVEY, SEE TABLE) FROM A 2018 EDGE SURVEY AND DESIGN, LLC TOPOGRAPHIC SURVEY NAMED, "JIM'S LANDING POOL SURVEY" ON A BRATSLAVSKY CONSULTING ENGINEERS, INC. (BCE) TITLE BLOCK. ACCORDING TO NOTES ON THE AFOREMENTIONED 2018 EDGE SURVEY, COORDINATES WERE OPUS DERIVED IN NAD83 (2011), EPOCH 2010.0000.
2. THE VERTICAL CONTROL FOR THIS SURVEY IS NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88), DERIVED FROM AND HOLDING THE PUBLISHED ORTHOMETRIC HEIGHT OF POINT 205 FROM THE AFOREMENTIONED 2018 EDGE SURVEY AND DESIGN, LLC TOPOGRAPHIC SURVEY. ACCORDING TO NOTES ON THE 2018 SURVEY ELEVATIONS WERE OPUS DERIVED IN NAVD88 IN GEOID 128.
3. THIS FIELD SURVEY WAS PERFORMED SEPTEMBER 29-30, 2020, BY PND ENGINEERS. EDGE SURVEY PERFORMED MAY 23-31, 2018 AND OCTOBER 25-31, 2018.
4. ALL DIMENSIONS AND COORDINATES ARE IN U.S. SURVEY FEET UNLESS OTHERWISE NOTED.
5. THIS SURVEY WAS COMPLETED USING GNSS SURVEY TECHNIQUES. REAL TIME KINEMATIC (RTK) OBSERVATIONS WERE STORED USING TRIMBLE R10 MODEL 2, GNSS RECEIVERS.
6. INFORMATION SHOWN ON THIS DRAWING IS A COMPOSITE OF DATA COLLECTED IN THE 2018 EDGE SURVEY AND 2020 PND SURVEY.
7. AT THE TIME OF SURVEY DISCHARGE DATA FOR USGS STATION 15258000 KENAI RIVER AT COOPER LANDING AK ON 9/29/20 AT 12:00 PM INDICATES THAT DISCHARGE WAS APPROXIMATELY 4,750 CFS WITH AN ASSOCIATED GAGE HEIGHT OF 9.72 FEET.
8. NO UTILITY LOCATES WERE PERFORMED AS PART OF THIS SURVEY.
9. CONTOURS ARE IN FEET, WITH ONE FOOT INTERVALS.
10. NO TITLE SEARCH WAS PREPARED FOR THIS SURVEY. EASEMENTS AND ENCUMBRANCES MAY EXIST THAT ARE NOT SHOWN HEREON.
11. AS NOTED ON THE 2018 EDGE SURVEY AND DESIGN, LLC SURVEY, RIGHT OF WAY (ROW) DATA IS PER PLAT 2014-34 KENAI RECORDING DISTRICT. LINWORK SHOWN HERON IS FROM A CLIENT PROVIDED CAD FILE OF THE 2018 EDGE SURVEY.

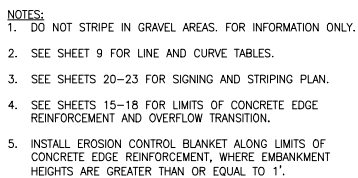
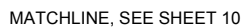


SURVEY CONTROL				
POINT #	NORTHING	EASTING	ELEVATION	DESCRIPTION
201	2368915.128	1620213.452	292.20	FOUND REBAR
202	2368734.080	1619565.885	284.94	REBAR SET PREVIOUS SURVEY
203	2368347.281	1620301.256	281.60	REBAR SET PREVIOUS SURVEY
204	2369084.720	1620275.951	299.06	FOUND ALCPA [S158.0 ADOT&F 2002]
501	2368908.975	1620197.081	291.62	FOUND ALMON [2.5 IN FHWA 19101]
502	2368472.630	1618796.609	286.65	FOUND ALMON [2.5 IN FHWA 19104]
503	2368597.417	1619313.615	284.64	FOUND ALMON [2.5 IN FHWA 19103]
504	2368739.026	1619665.710	284.38	FOUND ALMON [2.5 IN FHWA 19102]

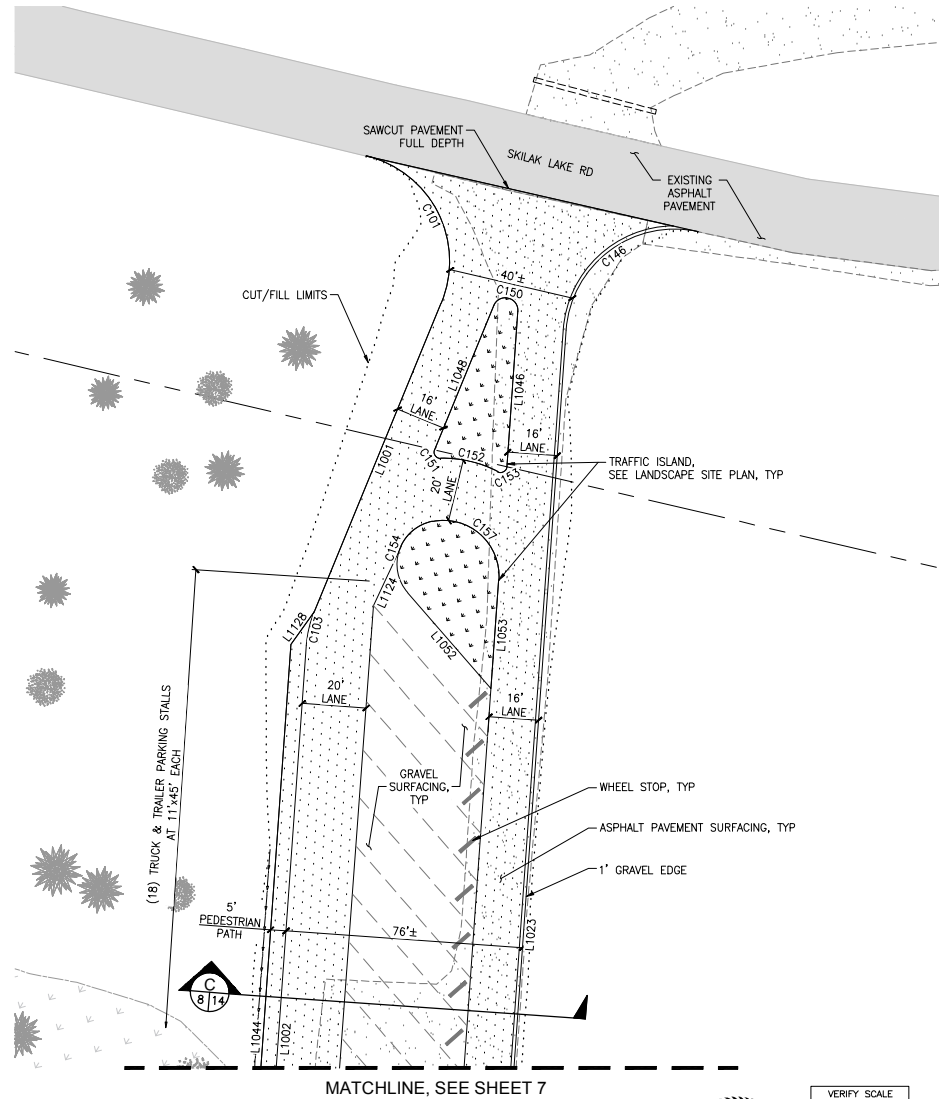
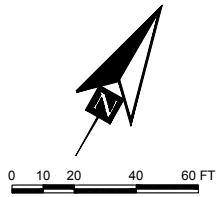








REV.	DATE			DESCRIPTION					BY
KENAI NATIONAL WILDLIFE REFUGE									
JIMS' LANDING BOAT LAUNCH									
SITE PLAN									
DESIGNED	JG	DRAWN	OR	CHECKED	PK	DATE	DRAWING NO.		
						3/18/22	7R-AK-10035092	7.0	



- NOTES:
1. DO NOT STRIPE IN GRAVEL AREAS. FOR INFORMATION ONLY.
 2. SEE SHEET 9 FOR LINE AND CURVE TABLES.
 3. SEE SHEETS 20-23 FOR SIGNING AND STRIPING PLAN.
 4. SEE SHEETS 15-18 FOR LIMITS OF CONCRETE EDGE REINFORCEMENT AND OVERFLOW TRANSITION.



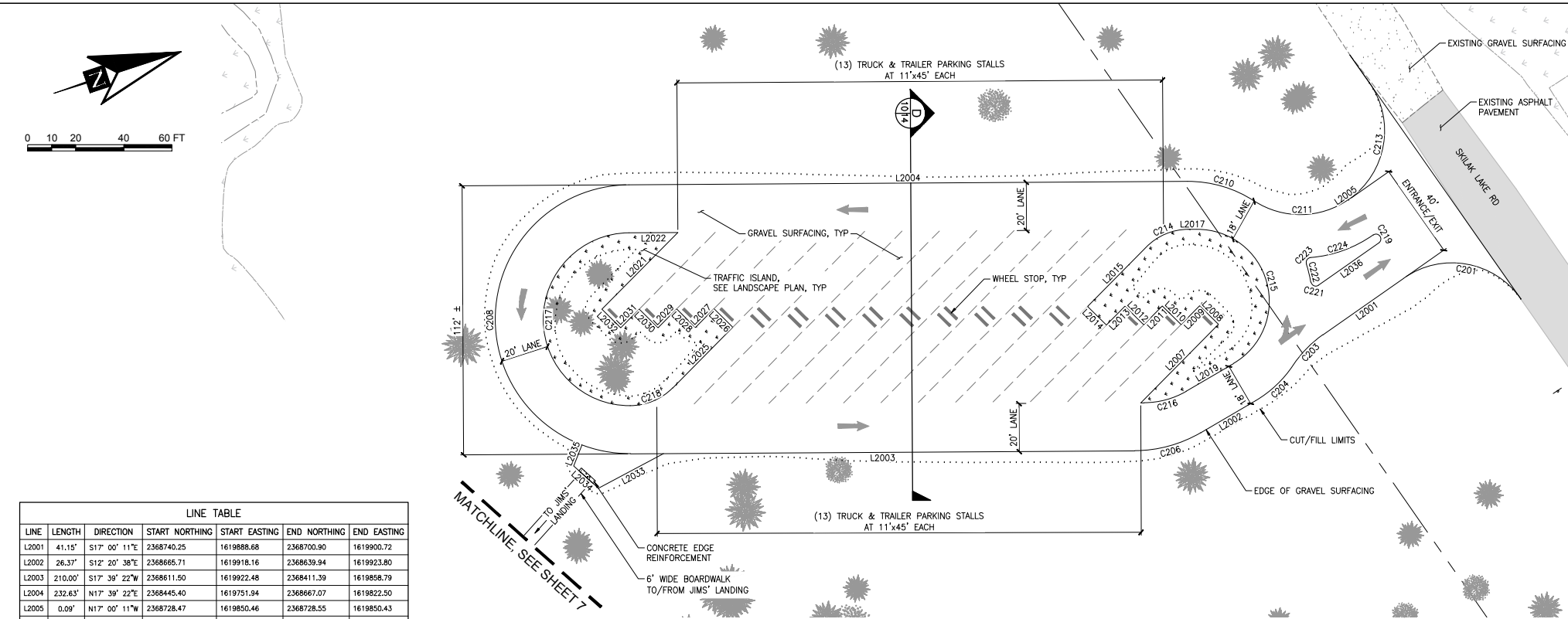
VERIFY SCALE
THIS BAR IS
ONE INCH ON
ORIGINAL DRAWING
0" 1"
ADJUST SCALES
ACCORDINGLY, IF
NOT ONE INCH
ON THIS SHEET

REV.	DATE	DESCRIPTION	BY
KENAI NATIONAL WILDLIFE REFUGE			
JIMS' LANDING BOAT LAUNCH			
SITE PLAN			
DESIGNED	JG	DRAWN	OR
CHECKED	PK	DATE	3/18/22
DRAWING NO.	7R-AK-10035092-8.0		

LINE TABLE						
LINE	LENGTH	DIRECTION	START NORTHING	START EASTING	END NORTHING	END EASTING
L1001	107.45'	S7° 42' 39"E	2368789.18	1620070.18	2368682.70	1620084.60
L1002	253.62'	S26° 01' 36"E	2368672.04	1620087.83	2368444.13	1620199.12
L1003	449.81'	S59° 55' 32"W	2368398.49	1620185.21	2368173.08	1619795.96
L1004	53.48'	S81° 40' 24"W	2368163.15	1619767.45	2368155.41	1619714.54
L1005	2.75'	S63° 25' 32"W	2368147.99	1619690.94	2368146.76	1619688.48
L1006	181.38'	S84° 18' 00"W	2368098.62	1619617.02	2368090.61	1619436.54
L1007	24.90'	S88° 58' 57"W	2368080.23	1619430.02	2368079.78	1619405.12
L1008	23.88'	N80° 05' 49"E	2367998.46	1619408.48	2368002.57	1619432.01
L1009	16.45'	S70° 42' 00"E	2368001.54	1619444.57	2367996.10	1619460.10
L1010	139.95'	N84° 18' 00"E	2367995.07	1619468.70	2368008.97	1619607.95
L1011	60.95'	N69° 15' 07"E	2368012.57	1619623.25	2368034.16	1619680.24
L1012	3.98'	S26° 34' 27"E	2368034.16	1619680.24	2368030.60	1619682.02
L1013	87.00'	N63° 25' 32"E	2368030.60	1619682.02	2368069.52	1619759.83
L1014	5.48'	N26° 34' 28"W	2368069.52	1619759.83	2368074.42	1619757.38
L1016	10.82'	S30° 04' 28"E	2368084.83	1619764.36	2368075.47	1619769.79
L1017	136.96'	N59° 55' 32"E	2368075.47	1619769.79	2368144.10	1619886.30
L1018	24.65'	N67° 26' 58"E	2368149.92	1619900.07	2368159.37	1619922.83
L1019	51.80'	N59° 55' 32"E	2368165.19	1619934.60	2368191.15	1619978.42
L1020	26.63'	N84° 55' 32"E	2368193.76	1619987.68	2368196.12	1620014.20
L1021	228.71'	N59° 55' 32"E	2368198.73	1620022.45	2368313.34	1620220.37
L1022	61.15'	N43° 17' 04"E	2368316.94	1620224.91	2368361.45	1620266.83
L1023	389.83'	N26° 01' 36"W	2368451.41	1620280.48	2368801.80	1620109.39
L1026	53.66'	N50° 05' 24"E	2368187.24	1619794.46	2368221.67	1619835.62
L1027	2.83'	N30° 04' 28"W	2368221.67	1619835.62	2368224.12	1619834.21
L1028	14.50'	N59° 55' 32"E	2368224.12	1619834.21	2368231.39	1619846.76
L1029	8.00'	S30° 04' 28"E	2368231.39	1619846.76	2368224.46	1619850.76
L1030	15.07'	S59° 55' 32"W	2368224.46	1619850.76	2368216.91	1619837.72
L1031	52.22'	S50° 05' 24"W	2368216.91	1619837.72	2368183.41	1619797.67
L1033	1.11'	S30° 04' 28"E	2368180.87	1619797.22	2368179.91	1619797.78
L1034	83.75'	N59° 55' 32"E	2368179.91	1619797.78	2368221.88	1619870.25
L1035	22.00'	N30° 04' 28"W	2368221.88	1619870.25	2368240.92	1619859.23
L1036	12.00'	N59° 55' 32"E	2368240.92	1619859.23	2368246.94	1619869.61
L1037	22.00'	S30° 04' 28"E	2368246.94	1619869.61	2368227.90	1619880.64
L1038	58.71'	N59° 55' 32"E	2368227.90	1619880.64	2368257.32	1619931.45
L1040	14.00'	N59° 55' 32"E	2368261.64	1619928.94	2368268.66	1619941.05
L1042	276.34'	N59° 55' 32"E	2368264.33	1619943.56	2368402.82	1620182.70
L1044	253.62'	N26° 01' 36"W	2368441.94	1620194.63	2368669.85	1620083.34
L1046	50.18'	N26° 01' 36"W	2368754.13	1620114.85	2368799.23	1620092.84
L1048	50.18'	S7° 42' 39"E	2368796.93	1620085.28	2368747.21	1620092.01
L1052	40.92'	S71° 01' 36"E	2368703.07	1620107.59	2368689.77	1620146.29
L1053	34.97'	N26° 01' 36"W	2368689.77	1620146.29	2368721.19	1620130.94
L1054	32.42'	N86° 50' 58"W	2368433.39	1620261.54	2368435.17	1620229.18
L1056	10.54'	N26° 01' 36"W	2368438.53	1620224.11	2368448.00	1620219.49
L1058	36.34'	S71° 01' 36"E	2368453.54	1620224.38	2368441.72	1620258.75
L1059	11.00'	N18° 58' 24"E	2368441.72	1620258.75	2368452.13	1620262.33
L1060	11.26'	S26° 01' 36"E	2368452.13	1620262.33	2368442.01	1620267.27
L1062	0.88'	S59° 55' 32"W	2368404.04	1620234.71	2368403.70	1620234.12
L1064	43.89'	S14° 55' 32"E	2368391.55	1620224.82	2368349.14	1620213.52
L1066	27.99'	N59° 55' 32"E	2368346.89	1620216.45	2368360.92	1620240.67
L1069	2.75'	N6° 09' 50"E	2368383.79	1620261.33	2368386.53	1620261.62

LINE TABLE						
LINE	LENGTH	DIRECTION	START NORTHING	START EASTING	END NORTHING	END EASTING
L1071	51.62'	N59° 55' 32"E	2368301.11	1620056.95	2368326.97	1620101.62
L1073	43.89'	S14° 55' 32"W	2368324.73	1620104.55	2368282.32	1620093.25
L1075	51.62'	S59° 55' 32"W	2368270.16	1620083.94	2368244.30	1620039.28
L1077	43.89'	N14° 55' 32"E	2368246.54	1620036.34	2368288.95	1620047.65
L1079	43.87'	N14° 55' 32"E	2368191.78	1619936.88	2368234.18	1619948.18
L1080	7.86'	S59° 55' 32"W	2368236.42	1619945.25	2368232.48	1619938.45
L1081	43.53'	S14° 55' 32"E	2368220.33	1619929.14	2368178.27	1619917.93
L1082	45.28'	N14° 55' 32"E	2368122.22	1619811.92	2368165.97	1619823.58
L1083	31.13'	S59° 55' 32"W	2368165.97	1619823.58	2368150.36	1619796.64
L1085	4.10'	S30° 04' 28"E	2368123.03	1619789.35	2368119.49	1619791.41
L1087	51.30'	S81° 40' 24"W	2368147.01	1619767.62	2368139.58	1619716.86
L1089	4.90'	S63° 25' 32"W	2368133.68	1619698.10	2368131.49	1619693.72
L1091	100.84'	S39° 18' 00"W	2368115.31	1619673.48	2368073.28	1619609.61
L1092	33.77'	N84° 18' 00"E	2368037.28	1619609.61	2368040.63	1619643.21
L1094	16.40'	N53° 49' 27"E	2368051.90	1619672.67	2368061.58	1619685.91
L1096	22.25'	N26° 34' 28"W	2368086.67	1619691.99	2368106.58	1619682.03
L1101	7.15'	N81° 40' 24"E	2368134.63	1619717.58	2368135.67	1619724.65
L1103	5.65'	S26° 34' 28"E	2368130.25	1619735.05	2368125.19	1619737.57
L1105	19.66'	N79° 09' 39"E	2368120.92	1619746.23	2368124.61	1619765.54
L1109	57.00'	N39° 18' 00"E	2368018.74	1619423.85	2368062.85	1619459.96
L1110	48.79'	S84° 18' 00"W	2368062.85	1619459.96	2368058.00	1619411.41
L1112	8.49'	N84° 18' 00"E	2368017.89	1619415.41	2368018.74	1619423.85
L1115	133.25'	S62° 03' 50"W	2368177.52	1619923.84	2368115.09	1619806.11
L1116	132.73'	N59° 55' 32"E	2368165.97	1619823.58	2368232.48	1619938.45
L1117	130.22'	S59° 55' 32"W	2368244.29	1620039.27	2368179.04	1619926.58
L1118	129.08'	N59° 55' 32"E	2368236.42	1619945.25	2368301.11	1620056.95
L1119	127.87'	N59° 55' 32"E	2368326.97	1620101.62	2368391.05	1620212.27
L1120	153.12'	S59° 55' 32"W	2368346.89	1620216.45	2368270.16	1620083.94
L1121	12.00'	S75° 04' 05"E	2368391.05	1620212.27	2368387.96	1620223.86
L1122	273.39'	S25° 52' 42"E	2368693.99	1620100.15	2368448.02	1620219.48
L1123	264.46'	N26° 01' 36"W	2368452.13	1620262.33	2368689.77	1620146.29
L1124	19.72'	S5° 18' 33"E	2368713.63	1620098.33	2368693.99	1620100.15
L1125	63.67'	N86° 47' 52"W	2368417.26	1620288.55	2368417.26	1620224.98
L1127	28.57'	N75° 00' 00"W	2368417.26	1620224.98	2368424.66	1620197.38
L1128	12.92'	N6° 35' 53"E	2368669.85	1620083.34	2368682.70	1620084.60
L1129	29.00'	N62° 34' 29"W	2368208.87	1619844.19	2368222.23	1619818.45
L1130	145.00'	N30° 04' 28"W	2368263.72	1619932.36	2368389.20	1619859.70
L1131	145.00'	N30° 04' 28"W	2368266.73	1619937.55	2368392.21	1619864.89
L1141	2.75'	N63° 25' 32"E	2368127.98	1619697.88	2368129.21	1619700.33
L1143	5.00'	S30° 04' 28"E	2368176.66	1619792.15	2368172.33	1619794.66

CURVE TABLE						
CURVE	RADIUS	DELTA	CHORD BEARING	CHORD LENGTH	LENGTH	TANGENT
C100	2.00	80.1643	S107°00'28"W	2.58'	2.8'	1.68'
C101	35.00	98.8017	S57°06'42"E	53.15'	60.4'	40.84'
C103	35.00	18.3158	S16°52'07"E	11.14'	11.2'	5.64'
C105	35.00	85.9523	S16°56'58"W	47.72'	52.5'	32.61'
C107	80.00	21.7478	S70°47'58"W	30.18'	30.4'	15.37'
C109	78.00	18.2478	S72°32'58"W	24.74'	24.8'	12.53'
C111	78.00	26.9063	S49°58'21"W	36.29'	36.6'	18.66'
C112	62.00	47.7807	S60°24'35"W	50.22'	51.7'	27.46'
C114	80.00	4.6824	S86°38'28"W	6.54'	6.5'	3.27'
C116	30.00	32.1917	S72°53'12"W	16.63'	16.9'	8.66'
C117	44.15	101.3602	S6°06'38"W	68.31'	78.1'	53.91'
C118	30.00	55.3336	S72°14'11"E	27.86'	29.0'	15.73'
C120	25.00	29.2031	S85°18'05"E	12.60'	12.7'	6.51'
C122	20.00	25.0000	S83°12'00"E	8.66'	8.7'	4.43'
C124	60.00	15.0480	N76°46'34"E	15.71'	15.8'	7.92'
C129	8.00	86.5000	N16°40'32"E	10.96'	12.1'	7.53'
C131	2.00	90.0000	S75°04'28"E	2.83'	3.1'	2.00'
C134	100.00	7.5238	N63°41'15"E	13.12'	13.1'	6.58'
C136	100.00	7.5238	N63°41'15"E	13.12'	13.1'	6.58'
C138	20.00	25.0000	N72°25'32"E	8.66'	8.7'	4.43'
C140	20.00	25.0000	N72°25'32"E	8.66'	8.7'	4.43'
C142	20.00	16.6411	N51°36'18"E	5.79'	5.8'	2.93'
C146	35.00	98.4086	N23°10'40"E	52.99'	60.1'	40.55'
C147	7.00	80.1643	N10°00'28"E	9.01'	9.8'	5.89'
C149	30.00	85.9523	N16°56'58"E	40.90'	45.0'	27.95'
C150	4.00	161.6842	S73°07'53"W	7.90'	11.3'	24.81'
C151	2.00	113.5782	S64°30'00"E	3.35'	4.0'	3.06'
C152	38.00	28.8405	N73°07'53"E	18.93'	19.1'	9.77'
C153	2.00	113.5782	N30°45'45"E	3.35'	4.0'	3.06'
C154	14.00	119.9877	S11°01'14"E	24.25'	29.3'	24.24'
C157	18.00	105.0000	N78°31'36"W	28.56'	33.0'	23.46'
C158	6.00	60.8228	N56°26'17"W	6.07'	6.4'	3.52'
C159	4.00	135.0000	N41°28'24"E	7.39'	9.4'	9.66'
C160	6.00	119.1772	S33°33'43"W	10.35'	12.5'	10.22'
C161	20.00	45.0000	S37°25'32"W	15.31'	15.7'	8.28'
C162	2.00	135.0000	S52°34'28"E	3.70'	4.7'	4.83'
C163	64.00	20.0231	N49°54'51"E	22.25'	22.4'	11.30'
C164	16.00	33.7388	N23°02'00"E	9.29'	9.4'	4.85'
C165	18.00	126.2381	N56°57'19"W	32.11'	39.7'	35.51'
C166	2.00	135.0000	S52°34'28"E	3.70'	4.7'	
C167	20.00	45.0000	S37°25'32"W	15.31'	15.7'	8.28'
C168	2.00	135.0000	N52°34'28"W	3.70'	4.7'	4.83'
C169	20.00	45.0000	N37°25'32"E	15.31'	15.7'	8.28'
C170	2.00	130.4877	S50°19'05"E	3.63'	4.6'	4.34'
C171	84.00	5.5536	N61°39'40"E	8.14'	8.1'	4.07'
C172	20.00	43.9587	N36°54'18"E	14.97'	15.3'	8.07'
C174	2.00	135.0000	N52°34'28"W	3.70'	4.7'	4.83'
C176	20.00	45.0000	S37°25'32"W	15.31'	15.7'	8.28'
C178	20.00	90.0000	S14°55'32"W	28.28'	31.4'	20.00'
C179	11.20	135.0000	N82°25'32"E	20.69'	26.4'	27.04'



LINE TABLE						
LINE	LENGTH	DIRECTION	START NORTHING	START EASTING	END NORTHING	END EASTING
L2001	41.15'	S17° 00' 11"E	2368740.25	1619888.68	2368700.90	1619900.72
L2002	26.37'	S12° 20' 38"E	2368665.71	1619918.16	2368639.94	1619923.80
L2003	210.00'	S17° 39' 22"W	2368611.50	1619922.48	2368411.39	1619858.79
L2004	232.63'	N17° 39' 22"E	2368445.40	1619751.94	2368667.07	1619822.50
L2005	0.09'	N17° 00' 11"W	2368728.47	1619850.46	2368728.55	1619850.43
L2007	46.00'	N27° 20' 38"W	2368620.03	1619904.21	2368660.89	1619883.08
L2008	11.00'	S62° 39' 22"W	2368660.89	1619883.08	2368655.84	1619873.31
L2009	11.00'	S27° 20' 38"E	2368655.84	1619873.31	2368646.07	1619878.36
L2010	11.00'	S62° 39' 22"W	2368646.07	1619878.36	2368641.02	1619868.59
L2011	11.00'	S27° 20' 38"E	2368641.02	1619868.59	2368631.25	1619873.64
L2012	11.00'	S62° 39' 22"W	2368631.25	1619873.64	2368626.19	1619863.87
L2013	11.00'	S27° 20' 38"E	2368626.19	1619863.87	2368616.42	1619868.92
L2014	11.00'	S62° 39' 22"W	2368616.42	1619868.92	2368611.37	1619859.15
L2015	34.64'	N27° 20' 38"W	2368611.37	1619859.15	2368642.14	1619843.24
L2017	3.50'	N17° 39' 22"E	2368661.21	1619841.62	2368664.55	1619842.69
L2019	22.91'	S12° 20' 38"E	2368661.86	1619900.58	2368639.48	1619905.48
L2021	45.00'	N27° 20' 38"W	2368418.66	1619797.82	2368458.64	1619777.15
L2022	20.25'	S17° 39' 22"W	2368458.64	1619777.15	2368439.34	1619771.00
L2025	35.64'	N27° 20' 38"W	2368436.53	1619838.11	2368468.19	1619821.74
L2026	11.00'	S62° 39' 22"W	2368468.19	1619821.74	2368463.14	1619811.97
L2027	11.00'	S27° 20' 38"E	2368463.14	1619811.97	2368453.36	1619817.02
L2028	11.00'	S62° 39' 22"W	2368453.36	1619817.02	2368448.31	1619807.25
L2029	11.00'	S27° 20' 38"E	2368448.31	1619807.25	2368438.54	1619812.30
L2030	11.00'	S62° 39' 22"W	2368438.54	1619812.30	2368433.49	1619802.53
L2031	11.00'	S27° 20' 38"E	2368433.49	1619802.53	2368423.72	1619807.59
L2032	11.00'	S62° 39' 22"W	2368423.72	1619807.59	2368418.66	1619797.82
L2033	30.61'	S10° 07' 06"E	2368424.41	1619862.93	2368394.28	1619868.31
L2034	13.97'	S59° 55' 32"W	2368394.28	1619868.31	2368387.28	1619856.22
L2035	9.33'	N50° 04' 28"W	2368387.28	1619856.22	2368393.27	1619849.06
L2036	30.75'	S17° 00' 11"E	2368734.90	1619871.50	2368705.49	1619880.49

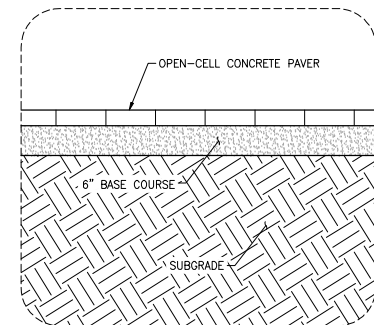
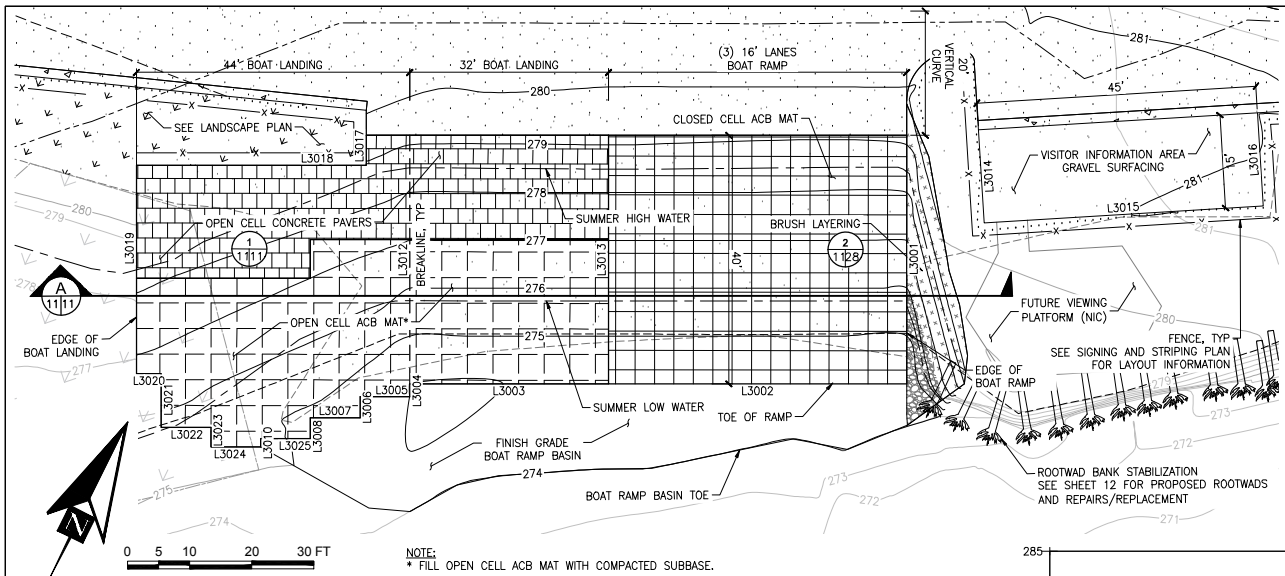
CURVE TABLE					
CURVE	RADIUS	DELTA	CHORD BEARING	CHORD LENGTH	LENGTH TANGENT
C201	35.00	90.0000	S27°59'49"W	49.50'	55.0' 35.00'
C203	48.00	21.2904	S27°38'54"E	17.73'	17.8' 9.02'
C204	48.00	25.9497	S25°19'07"E	21.55'	21.7' 11.06'
C206	55.00	30.0000	S2°39'22"W	28.47'	28.8' 14.74'
C208	56.06	180.0000	N72°20'38"W	112.12'	176.1' INFINITY'
C210	50.00	33.6330	N34°28'21"E	28.93'	29.4' 15.11'
C211	35.00	68.2923	N17°08'35"E	39.29'	41.7' 23.74'
C213	35.00	90.0000	N62°00'11"W	49.50'	55.0' 35.00'
C214	25.00	45.0000	N4°50'38"W	19.13'	19.6' 10.36'
C215	30.00	150.0000	S87°20'38"E	57.96'	78.5' 111.96'
C216	35.00	30.0000	S2°39'22"W	18.12'	18.3' 9.38'
C217	36.06	180.0000	S72°20'38"E	72.12'	113.3' INFINITY'
C218	25.00	45.0000	N4°50'38"W	19.13'	19.6' 10.36'
C219	2.00	179.9972	N72°59'54"E	4.00'	6.3' 82927.30'
C221	2.00	115.4018	S40°41'52"W	3.38'	4.0' 3.16'
C222	48.00	9.3079	N86°15'19"W	7.79'	7.8' 3.91'
C223	2.00	104.3592	N38°43'47"W	3.16'	3.6' 2.58'
C224	53.00	30.4503	N1°46'31"W	27.84'	28.2' 14.42'

- NOTES:
- DO NOT STRIPE IN GRAVEL AREAS. FOR INFORMATION ONLY.
 - SEE SHEET 23 FOR SIGNING AND STRIPING PLAN.
 - SEE SHEET 19 FOR LIMITS OF CONCRETE EDGE REINFORCEMENT.
 - LINE AND CURVE DATA SHOWN HEREIN REPRESENTS EXTENTS OF FINISH GRADE. SUCH AS OUTER EDGE OF:
 - GRAVEL SURFACING,
 - AND BOARDWALK.

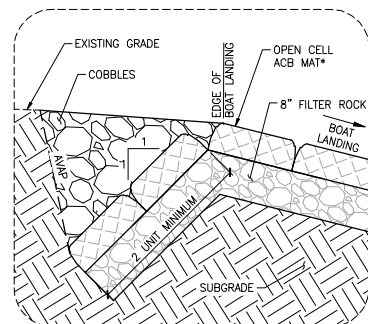


VERIFY SCALE
THIS BAR IS
ONE INCH ON
ORIGINAL DRAWING
0" 1"
ADJUST SCALES
ACCORDINGLY, IF
NOT ONE INCH
ON THIS SHEET

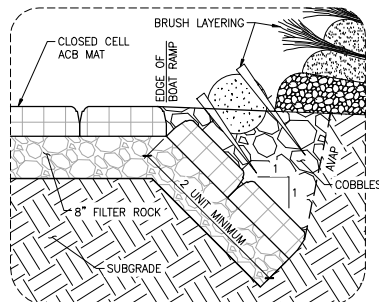
REV.	DATE	DESCRIPTION	BY
KENAI NATIONAL WILDLIFE REFUGE JIMS' LANDING BOAT LAUNCH SITE PLAN - OFFSITE PARKING			
DESIGNED	JG	DRAWN	OR
CHECKED	PK	DATE	3/18/22
DRAWING NO.	7R-AK-10035092-10.0		



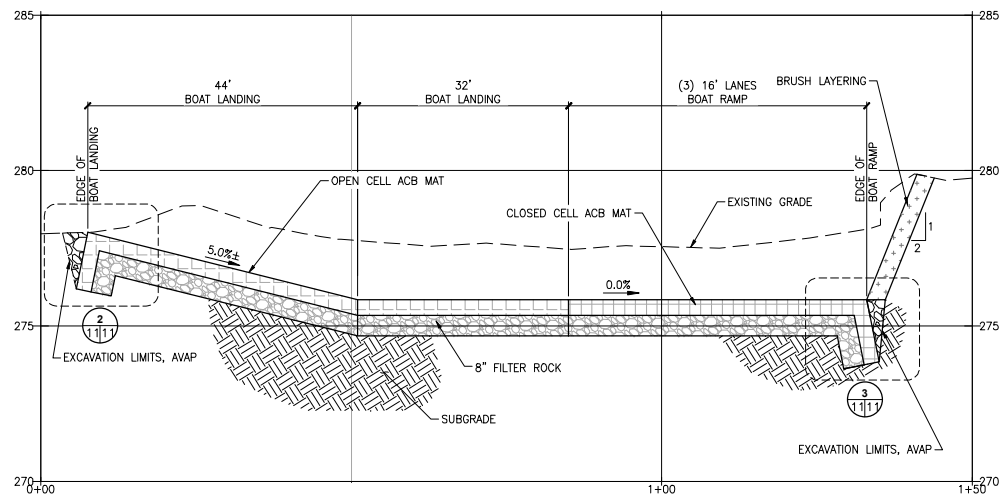
1 OPEN CELL CONCRETE PAVERS
NTS



2 EDGE OF BOAT LANDING
NTS
NOTE: BURIED MAT NOT SHOWN IN PLAN VIEW FOR CLARITY



3 EDGE OF BOAT RAMP
NTS
NOTE: BURIED MAT NOT SHOWN IN PLAN VIEW FOR CLARITY



A SECTION A: BOAT RAMP
1H:5V

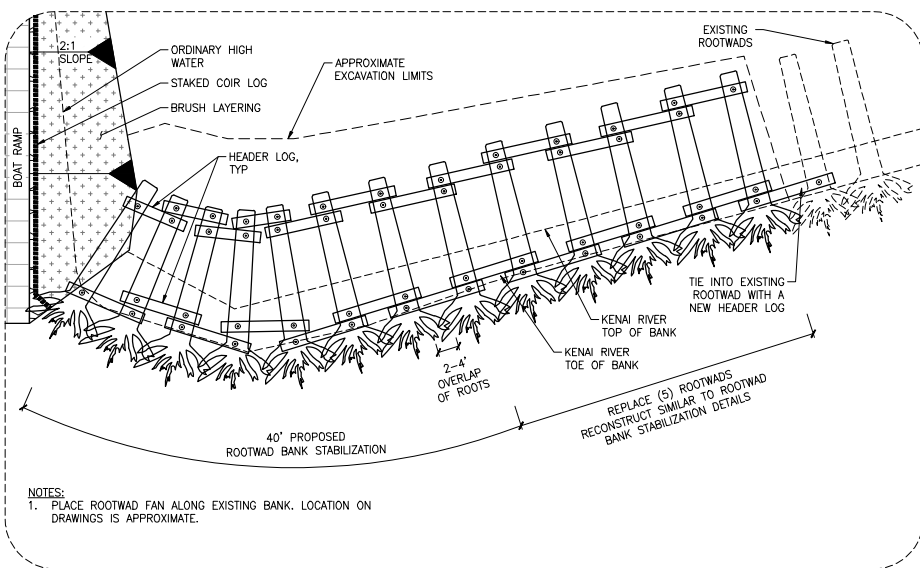
LINE TABLE						
LINE	LENGTH	DIRECTION	START NORTHING	START EASTING	END NORTHING	END EASTING
L3001	40.00'	N26° 34' 28"W	2368033.75	1619777.73	2368069.52	1619759.83
L3002	48.00'	S63° 25' 32"W	2368033.75	1619777.73	2368012.27	1619734.80
L3003	32.00'	S63° 25' 32"W	2368012.27	1619734.80	2367997.96	1619706.18
L3004	2.10'	S26° 34' 28"E	2367997.96	1619706.18	2367996.08	1619707.12
L3005	8.00'	S63° 25' 32"W	2367996.08	1619707.12	2367992.50	1619699.96
L3006	3.36'	S26° 34' 28"E	2367992.50	1619699.96	2367989.50	1619701.46
L3007	8.00'	S63° 25' 32"W	2367989.50	1619701.46	2367985.92	1619694.31
L3008	3.36'	S26° 34' 28"E	2367985.92	1619694.31	2367982.92	1619695.81
L3010	1.35'	S26° 34' 28"E	2367979.34	1619688.66	2367978.13	1619689.26
L3012	40.00'	S26° 34' 28"E	2368033.73	1619688.28	2367997.96	1619706.18
L3013	40.00'	N26° 34' 28"W	2368012.27	1619734.80	2368048.05	1619716.90
L3014	15.00'	S30° 04' 28"E	2368075.47	1619769.79	2368062.49	1619777.30

LINE TABLE						
LINE	LENGTH	DIRECTION	START NORTHING	START EASTING	END NORTHING	END EASTING
L3015	45.00'	N59° 55' 32"E	2368062.49	1619777.30	2368085.04	1619816.24
L3016	15.00'	N30° 04' 28"W	2368085.04	1619816.24	2368098.02	1619808.73
L3017	4.83'	N26° 34' 28"W	2368026.28	1619684.18	2368030.60	1619682.02
L3018	37.00'	N63° 25' 32"E	2368009.73	1619651.09	2368026.28	1619684.18
L3019	33.52'	N26° 34' 28"W	2367979.75	1619666.09	2368009.73	1619651.09
L3020	4.00'	S63° 25' 32"W	2367981.54	1619669.66	2367979.75	1619666.09
L3021	8.67'	N26° 34' 28"W	2367973.79	1619673.54	2367981.54	1619669.66
L3022	8.00'	S63° 25' 32"W	2367977.36	1619680.70	2367973.79	1619673.54
L3023	3.14'	N26° 34' 28"W	2367974.55	1619682.10	2367977.36	1619680.70
L3024	8.00'	S63° 25' 32"W	2367978.13	1619689.26	2367974.55	1619682.10
L3025	8.00'	S63° 25' 32"W	2367982.92	1619695.81	2367979.34	1619688.66



VERIFY SCALE
THIS BAR IS ONE INCH ON ORIGINAL DRAWING
0" 1"
ADJUST SCALES ACCORDINGLY, IF NOT ONE INCH ON THIS SHEET

REV.	DATE	DESCRIPTION	BY
KENAI NATIONAL WILDLIFE REFUGE			
JIMS' LANDING BOAT LAUNCH			
BOAT RAMP SITE PLAN			
DESIGNED	JG	DRAWN	OR
CHECKED	PK	DATE	3/18/22
DRAWING NO.	7R-AK-10035092-11.0		



NOTE:

1. VERIFY EXTENT OF ROOTWAD REPAIR AND INSTALLATION WITH CONTRACTING OFFICER PRIOR TO CONSTRUCTION.

NOTES:

- NOTES:
1. PLACE ROOTWAD FAN ALONG EXISTING BANK. LOCATION ON DRAWINGS IS APPROXIMATE.

1
12/12 ROOTWAD BANK STABILIZATION NTS



VERIFY SCALE

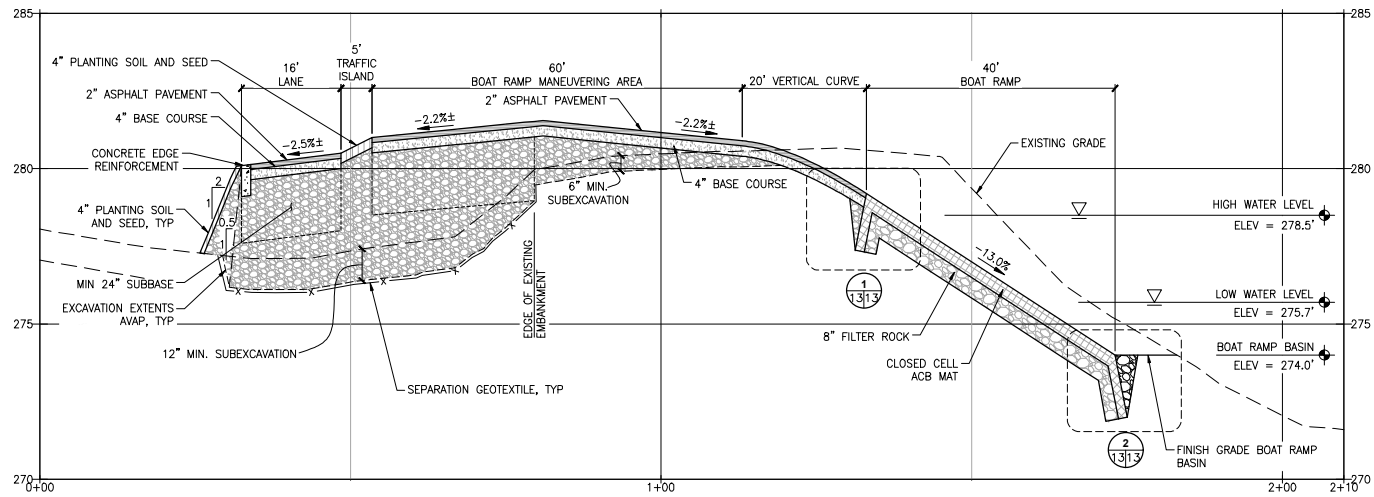
THIS BAR IS
ONE INCH ON
ORIGINAL DRAWING

0" ————— 1"

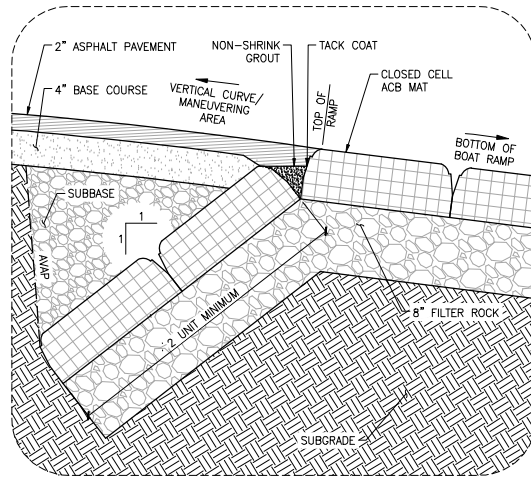
ADJUST SCALES
ACCORDINGLY, IF
NOT ONE INCH
ON THIS SHEET

REV.	DATE				DESCRIPTION		BY
KENAI NATIONAL WILDLIFE REFUGE							
JIMS' LANDING BOAT LAUNCH ROOTWAD REPAIR SITE PLAN							
DESIGNED	JG	DRAWN	OR	CHECKED	PK	DATE	DRAWING NO.
						3/18/22	7R-AK-10035092-12.0

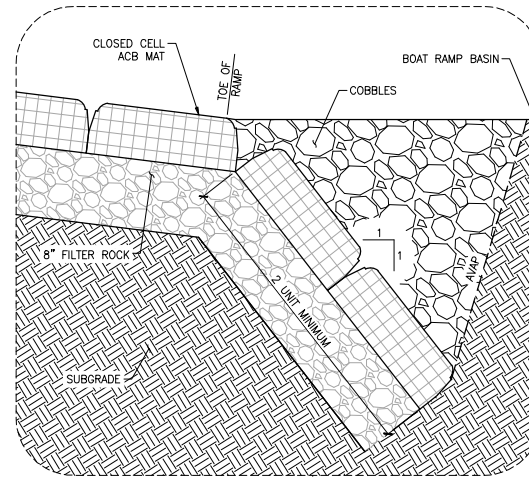
SHEET 12 OF 37



SECTION B: BOAT RAMP AND SITE
 11:5V
 6/13



1 TOP OF BOAT RAMP
 13/13 NTS

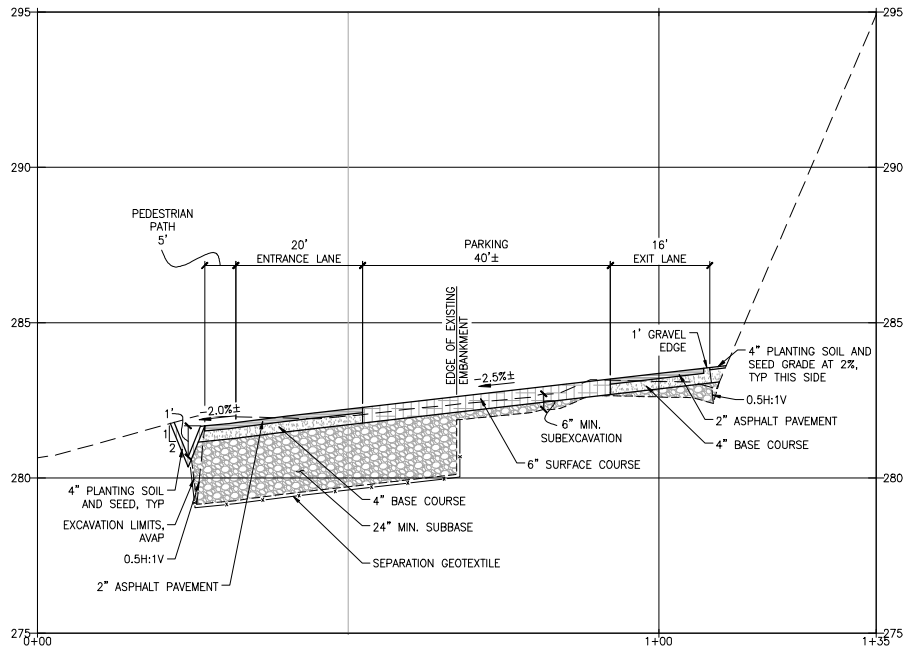


2 TOE OF BOAT RAMP
 13/13 NTS

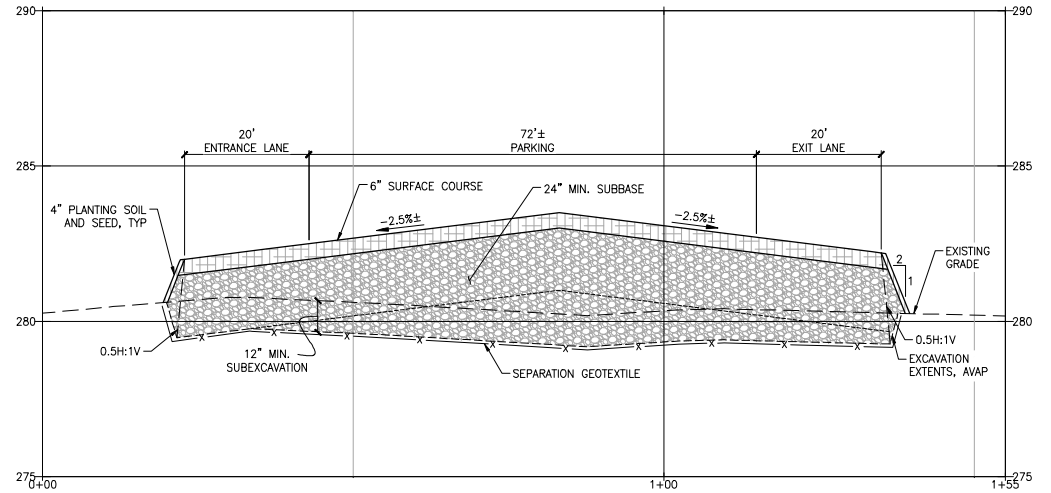


VERIFY SCALE
 THIS BAR IS
 ONE INCH ON
 ORIGINAL DRAWING
 0" 1"
 ADJUST SCALES
 ACCORDINGLY, IF
 NOT ONE INCH
 ON THIS SHEET

REV.	DATE	DESCRIPTION	BY
KENAI NATIONAL WILDLIFE REFUGE			
JIMS' LANDING BOAT LAUNCH			
SITE SECTIONS			
DESIGNED	JG	DRAWN	OR
CHECKED	PK	DATE	3/18/22
DRAWING NO.		7R-AK-10035092-13.0	



SECTION C: SITE ACCESS AND PARKING
 8/14 1H:5V

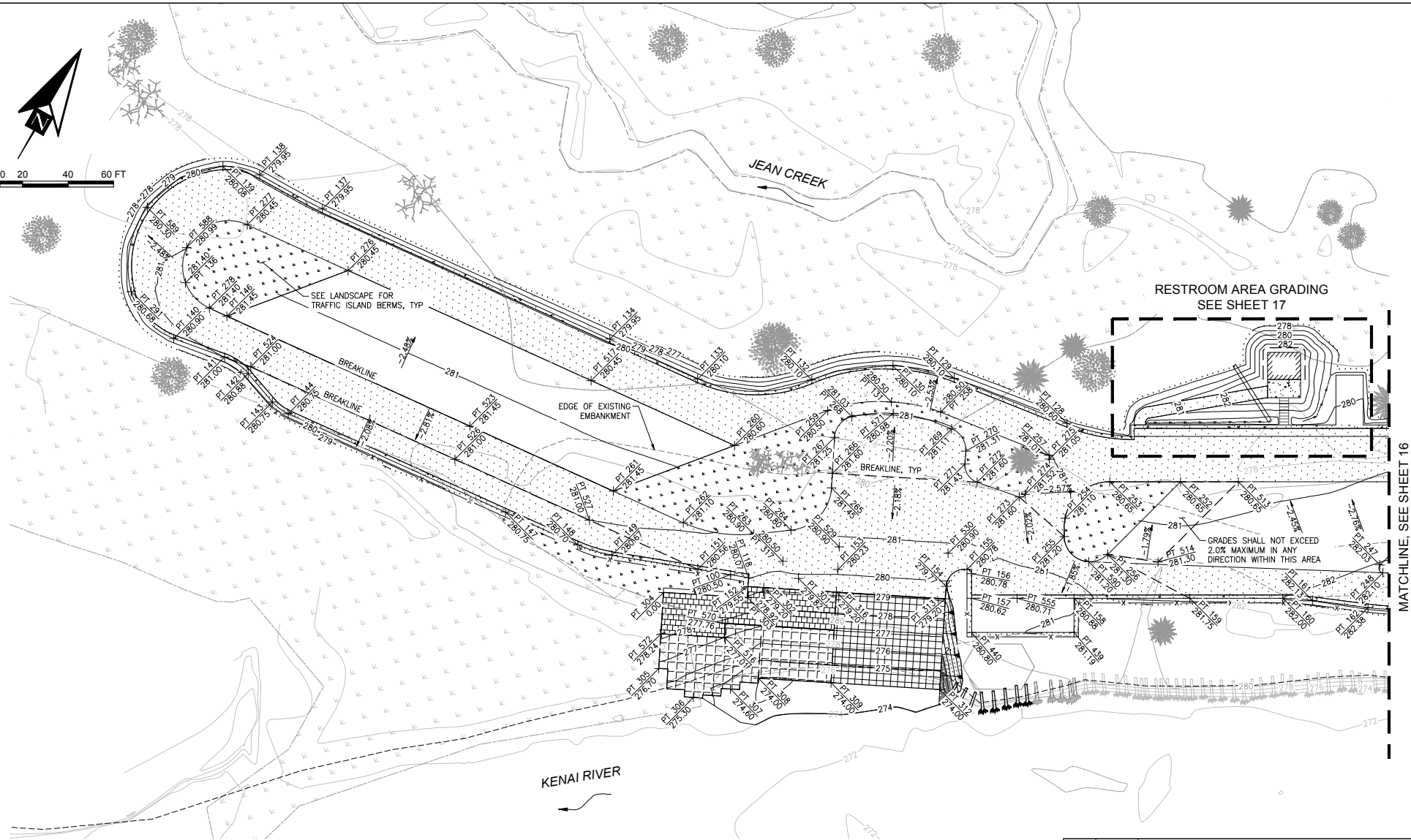
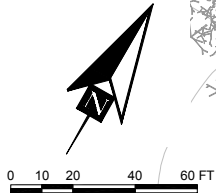


SECTION D: OFFSITE PARKING
 10/14 1H:5V



VERIFY SCALE
 THIS BAR IS
 ONE INCH ON
 ORIGINAL DRAWING
 0" 1"
 ADJUST SCALES
 ACCORDINGLY, IF
 NOT ONE INCH
 ON THIS SHEET

REV.	DATE	DESCRIPTION	BY
KENAI NATIONAL WILDLIFE REFUGE			
JIMS' LANDING BOAT LAUNCH			
SITE SECTIONS			
DESIGNED	JG	DRAWN	OR
CHECKED	PK	DATE	3/18/22
		DRAWING NO.	7R-AK-10035092-14.0



NOTE:
SEE SHEET 18 FOR LAYOUT POINT TABLE.



VERIFY SCALE
THIS BAR IS
ONE INCH ON
ORIGINAL DRAWING
0" = 1"
ADJUST SCALES
ACCORDINGLY, IF
NOT ONE INCH
ON THIS SHEET

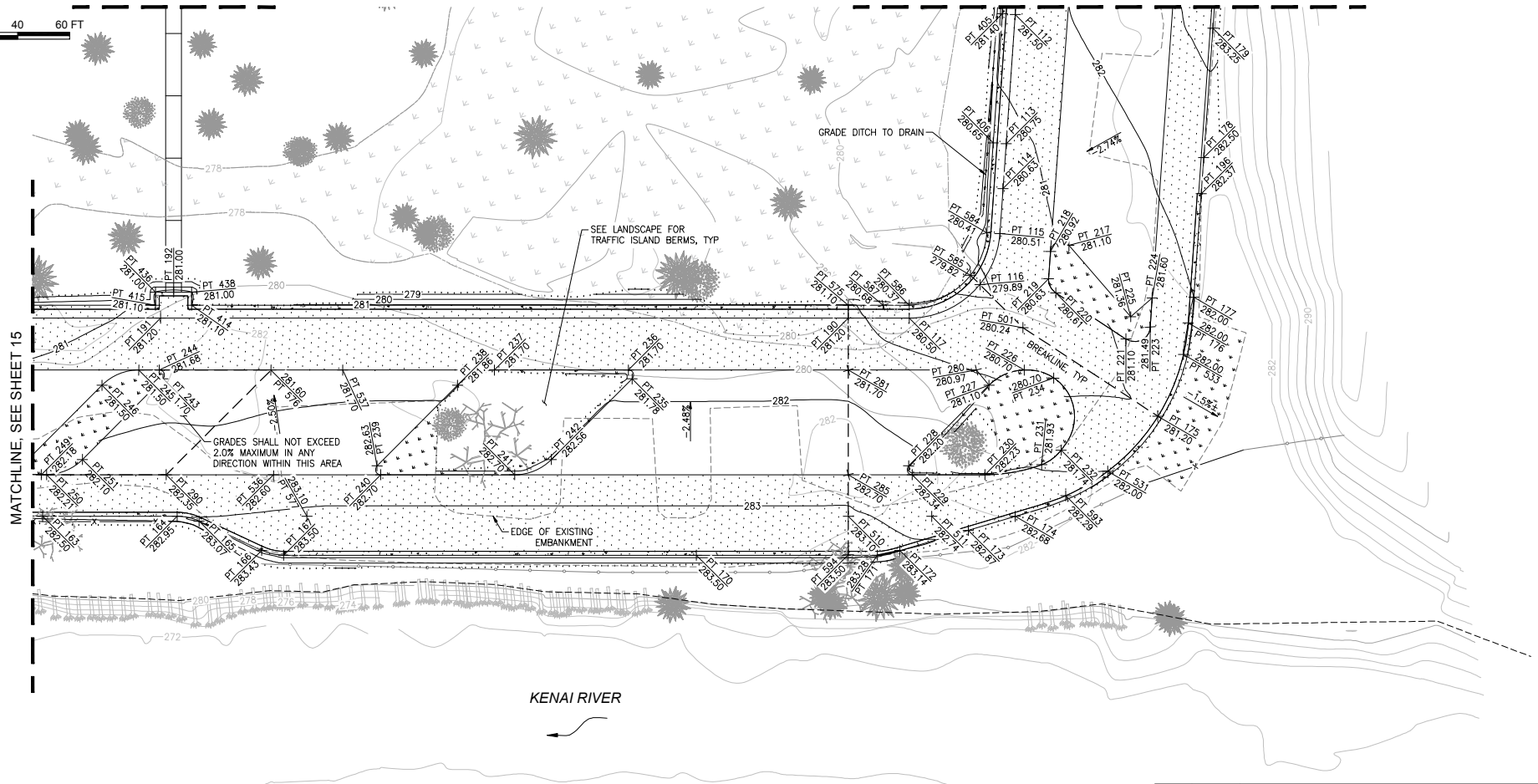
REV.	DATE	DESCRIPTION	BY
KENAI NATIONAL WILDLIFE REFUGE			
JIMS' LANDING BOAT LAUNCH			
GRADING PLAN			
DESIGNED	JG	DRAWN	OR
CHECKED	PK	DATE	3/18/22
DRAWING NO.	7R-AK-10035092-15.0		



0 10 20 40 60 FT

MATCHLINE, SEE SHEET 1

MATCHLINE, SEE SHEET 17



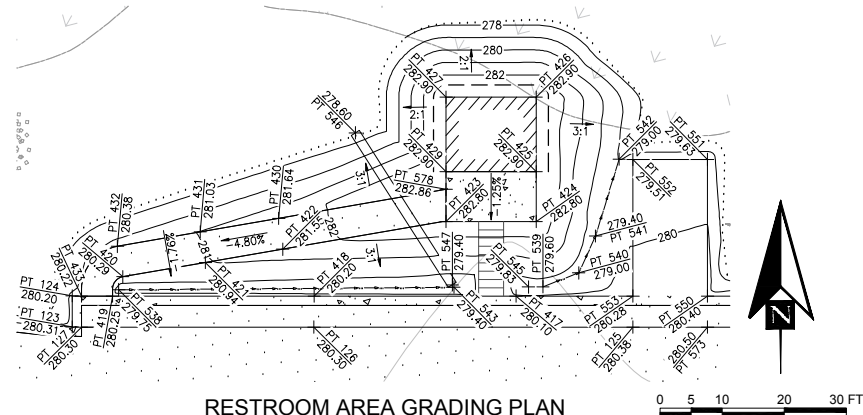
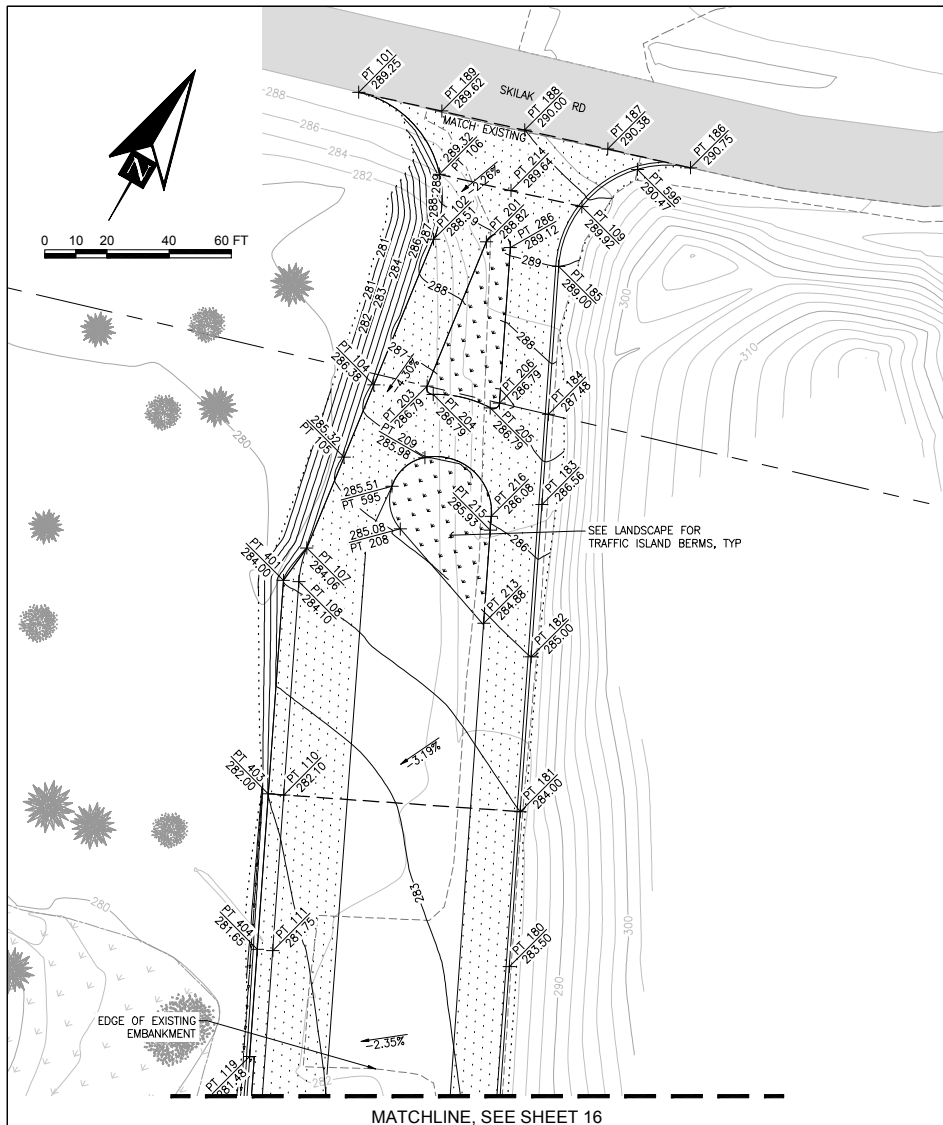
NOTE:
SEE SHEET 18 FOR LAYOUT POINT TABLE.



VERIFY SCALE
THIS BAR IS
ONE INCH ON
ORIGINAL DRAWING
0" = 1"
ADJUST SCALES
ACCORDINGLY, IF
NOT ONE INCH
ON THIS SHEET

REV.	DATE	DESCRIPTION	BY
KENAI NATIONAL WILDLIFE REFUGE			
JIMS' LANDING BOAT LAUNCH			
GRADING PLAN			
DESIGNED	JG	DRAWN	OR
CHECKED	PK	DATE	3/18/22
DRAWING NO.	7R-AK-10035092-16.0		

SHEET 16 OF 37



RESTROOM AREA GRADING PLAN

NOTE:
SEE SHEET 18 FOR LAYOUT POINT TABLE.



VERIFY SCALE
THIS BAR IS
ONE INCH ON
ORIGINAL DRAWING
0" = 1"
ADJUST SCALES
ACCORDINGLY, IF
NOT ONE INCH
ON THIS SHEET

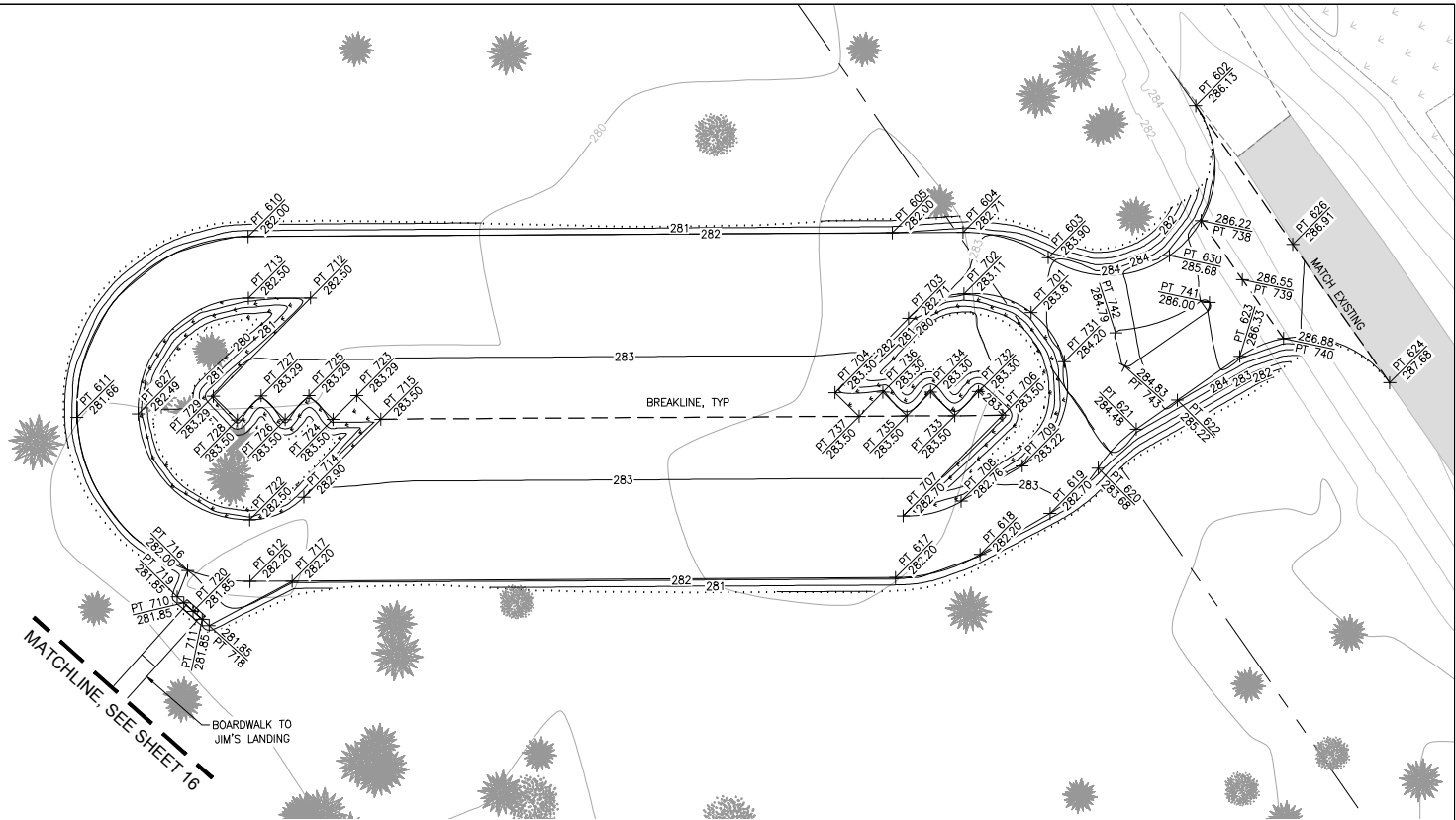
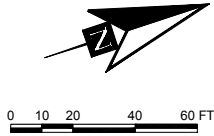
REV.	DATE	DESCRIPTION	BY
KENAI NATIONAL WILDLIFE REFUGE			
JIMS' LANDING BOAT LAUNCH			
GRADING PLAN			
DESIGNED	JG	DRAWN	OR
CHECKED	PK	DATE	3/18/22
DRAWING NO.	7R-AK-10035092-17.0		

JIMS' LANDING LAYOUT POINT TABLE				
POINT NO.	NORTHING	EASTING	ELEV.	NOTES
PT				
PT				
PT				
PT				
PT 100	2368031.32	1619672.74	280.50	EDGE OF CONCRETE EDGE REINF.
PT 101	2368818.04	1620025.55	289.25	EDGE OF ASPHALT / MATCH EXISTING
PT 102	2368789.18	1620070.18	288.51	EDGE OF ASPHALT
PT 104	2368738.91	1620076.99	286.38	EDGE OF ASPHALT
PT 105	2368713.96	1620080.37	285.32	EDGE OF ASPHALT
PT 106	2368808.17	1620061.26	289.32	EDGE OF ASPHALT
PT 107	2368682.70	1620084.60	284.06	EDGE OF ASPHALT
PT 108	2368672.04	1620087.83	284.10	TOP OF ASPHALT
PT 109	2368822.11	1620106.19	289.92	EDGE OF SHOULDER
PT 110	2368610.14	1620118.06	282.10	TOP OF ASPHALT
PT 111	2368655.09	1620140.06	281.75	TOP OF ASPHALT
PT 112	2368520.16	1620162.00	281.50	TOP OF ASPHALT
PT 113	2368475.35	1620183.88	280.75	TOP OF ASPHALT
PT 114	2368459.74	1620191.50	280.63	TOP OF ASPHALT
PT 115	2368444.13	1620199.12	280.51	TOP OF ASPHALT
PT 116	2368423.31	1620202.42	279.89	TOP OF ASPHALT
PT 117	2368398.49	1620185.20	280.50	TOP OF ASPHALT
PT 118	2368034.16	1619680.24	280.07	EDGE OF CONCRETE EDGE REINF.
PT 119	2368531.80	1620150.75	281.48	EDGE OF CONCRETE EDGE REINF.
PT 123	2368172.34	1619794.65	280.31	EDGE OF CONCRETE EDGE REINF.
PT 124	2368176.67	1619792.14	280.20	EDGE OF CONCRETE EDGE REINF.
PT 125	2368217.58	1619872.76	280.38	TOP OF ASPHALT
PT 126	2368191.83	1619828.33	280.30	TOP OF ASPHALT
PT 127	2368173.08	1619795.96	280.30	EDGE OF ASPHALT
PT 128	2368163.15	1619767.45	280.60	EDGE OF CONCRETE EDGE REINF.
PT 129	2368155.41	1619714.54	280.10	EDGE OF CONCRETE EDGE REINF.
PT 130	2368146.78	1619688.48	280.10	EDGE OF CONCRETE EDGE REINF.
PT 131	2368132.59	1619695.91	280.50	EDGE OF ASPHALT
PT 132	2368123.42	1619660.69	280.10	EDGE OF CONCRETE EDGE REINF.
PT 133	2368098.62	1619617.02	280.10	EDGE OF CONCRETE EDGE REINF.
PT 134	2368094.43	1619574.77	279.95	EDGE OF CONCRETE EDGE REINF.
PT 136	2368022.35	1619400.65	281.40	EDGE OF ASPHALT
PT 137	2368080.61	1619436.54	279.95	EDGE OF CONCRETE EDGE REINF.
PT 138	2368079.78	1619405.12	279.95	EDGE OF CONCRETE EDGE REINF.
PT 139	2368074.89	1619389.22	280.08	EDGE OF CONCRETE EDGE REINF.
PT 140	2367998.46	1619408.48	280.90	EDGE OF CONCRETE EDGE REINF.
PT 141	2368002.57	1619432.01	281.00	EDGE OF CONCRETE EDGE REINF.
PT 142	2368001.54	1619444.57	280.88	EDGE OF CONCRETE EDGE REINF.
PT 143	2367996.10	1619460.10	280.75	EDGE OF CONCRETE EDGE REINF.
PT 144	2367995.07	1619468.70	280.75	EDGE OF CONCRETE EDGE REINF.
PT 146	2368018.74	1619423.85	281.45	EDGE OF ASPHALT
PT 147	2368005.50	1619573.15	280.75	EDGE OF CONCRETE EDGE REINF.
PT 148	2368008.97	1619607.95	280.70	EDGE OF CONCRETE EDGE REINF.
PT 149	2368012.57	1619623.25	280.67	EDGE OF CONCRETE EDGE REINF.
PT 151	2368026.13	1619659.06	280.56	EDGE OF CONCRETE EDGE REINF.
PT 152	2368030.60	1619682.02	279.55	TOP OF LANDING
PT 153	2368056.99	1619712.43	280.23	TOP OF ASPHALT
PT 154	2368074.42	1619757.38	279.77	EDGE OF ASPHALT
PT 155	2368085.56	1619761.63	280.78	EDGE OF ASPHALT
PT 156	2368084.83	1619784.36	280.78	EDGE OF ASPHALT
PT 157	2368075.47	1619769.79	280.62	EDGE OF CONCRETE EDGE REINF.
PT 158	2368098.02	1619808.73	280.88	EDGE OF CONCRETE EDGE REINF.

JIMS' LANDING LAYOUT POINT TABLE				
POINT NO.	NORTHING	EASTING	ELEV.	NOTES
PT 159	2368123.57	1619852.84	281.75	EDGE OF CONCRETE EDGE REINF.
PT 160	2368144.10	1619888.30	282.00	EDGE OF CONCRETE EDGE REINF.
PT 161	2368149.92	1619900.37	282.13	EDGE OF SHOULDER
PT 162	2368159.37	1619922.83	282.38	EDGE OF CONCRETE EDGE REINF.
PT 163	2368165.19	1619934.60	282.50	EDGE OF CONCRETE EDGE REINF.
PT 164	2368191.15	1619979.42	282.95	EDGE OF CONCRETE EDGE REINF.
PT 165	2368193.76	1619987.68	283.07	EDGE OF CONCRETE EDGE REINF.
PT 166	2368196.12	1620014.20	283.43	EDGE OF CONCRETE EDGE REINF.
PT 167	2368198.73	1620022.45	283.50	EDGE OF CONCRETE EDGE REINF.
PT 170	2368278.39	1620160.01	283.50	EDGE OF CONCRETE EDGE REINF.
PT 171	2368313.34	1620220.37	283.28	EDGE OF CONCRETE EDGE REINF.
PT 172	2368319.29	1620226.90	283.14	EDGE OF CONCRETE EDGE REINF.
PT 173	2368339.19	1620245.87	282.87	EDGE OF CONCRETE EDGE REINF.
PT 174	2368352.94	1620258.81	282.68	EDGE OF CONCRETE EDGE REINF.
PT 175	2368413.79	1620287.06	281.20	EDGE OF OVERFLOW TRANS.
PT 176	2368450.75	1620279.14	282.00	EDGE OF OVERFLOW TRANS.
PT 177	2368460.42	1620276.08	282.00	EDGE OF CONCRETE EDGE REINF.
PT 178	2368508.83	1620252.44	282.50	EDGE OF SHOULDER
PT 179	2368553.76	1620230.50	283.25	EDGE OF SHOULDER
PT 180	2368598.69	1620208.56	283.50	EDGE OF SHOULDER
PT 181	2368643.62	1620186.62	284.00	EDGE OF SHOULDER
PT 182	2368688.55	1620164.68	285.00	EDGE OF SHOULDER
PT 183	2368732.74	1620143.11	286.56	EDGE OF SHOULDER
PT 184	2368758.84	1620130.36	287.48	EDGE OF SHOULDER
PT 185	2368801.80	1620109.39	289.00	EDGE OF SHOULDER
PT 186	2368850.51	1620120.34	290.75	EDGE OF ASPHALT / MATCH EXISTING
PT 187	2368842.39	1620104.07	290.38	EDGE OF ASPHALT / MATCH EXISTING
PT 188	2368834.28	1620077.90	290.00	EDGE OF ASPHALT / MATCH EXISTING
PT 189	2368826.16	1620051.72	289.62	EDGE OF ASPHALT / MATCH EXISTING
PT 190	2368836.74	1620164.92	281.20	TOP OF ASPHALT
PT 191	2368825.39	1619935.68	281.20	TOP OF ASPHALT
PT 192	2368265.22	1619934.96	281.00	BOARDWALK, TOP OF DECK
PT 196	2368496.34	1620258.55	282.37	EDGE OF CONCRETE EDGE REINF.
PT 201	2368796.93	1620085.28	288.82	EDGE OF ASPHALT
PT 203	2368747.21	1620092.01	286.79	EDGE OF ASPHALT
PT 204	2368745.77	1620095.03	286.79	EDGE OF ASPHALT
PT 205	2368751.26	1620113.14	286.79	EDGE OF ASPHALT
PT 206	2368754.13	1620114.85	286.79	EDGE OF ASPHALT
PT 208	2368703.07	1620107.59	285.08	EDGE OF GRAVEL
PT 209	2368726.87	1620102.95	285.98	EDGE OF ASPHALT
PT 213	2368690.32	1620146.02	284.88	EDGE OF ASPHALT
PT 214	2368651.57	1620083.82	289.64	TOP OF ASPHALT
PT 215	2368717.27	1620132.85	285.93	EDGE OF ASPHALT
PT 216	2368721.19	1620130.94	286.08	EDGE OF ASPHALT
PT 217	2368453.54	1620224.38	281.10	EDGE OF GRAVEL
PT 218	2368448.00	1620219.49	280.92	EDGE OF ASPHALT
PT 219	2368438.53	1620224.11	280.63	EDGE OF ASPHALT
PT 220	2368435.17	1620229.18	280.61	EDGE OF ASPHALT
PT 221	2368433.39	1620261.48	281.10	EDGE OF ASPHALT
PT 223	2368442.01	1620267.27	281.49	EDGE OF ASPHALT
PT 224	2368452.13	1620262.33	281.60	EDGE OF ASPHALT
PT 225	2368441.72	1620258.75	281.36	EDGE OF GRAVEL
PT 226	2368403.42	1620233.63	280.70	EDGE OF ASPHALT
PT 227	2368391.55	1620224.82	281.10	EDGE OF ASPHALT
PT 228	2368349.14	1620213.52	282.20	EDGE OF ASPHALT
PT 229	2368346.89	1620216.45	282.34	EDGE OF ASPHALT

JIMS' LANDING LAYOUT POINT TABLE				
POINT NO.	NORTHING	EASTING	ELEV.	NOTES
PT 230	2368360.92	1620240.67	282.23	EDGE OF ASPHALT
PT 231	2368375.25	1620257.69	281.93	EDGE OF ASPHALT
PT 232	2368383.79	1620261.33	281.74	EDGE OF ASPHALT
PT 234	2368406.42	1620244.99	280.70	EDGE OF ASPHALT
PT 235	2368324.73	1620104.55	281.78	EDGE OF ASPHALT
PT 236	2368326.97	1620101.62	281.70	EDGE OF ASPHALT
PT 237	2368301.11	1620056.95	281.70	EDGE OF ASPHALT
PT 238	2368288.95	1620047.65	281.86	EDGE OF GRAVEL
PT 239	2368246.54	1620036.34	282.63	EDGE OF GRAVEL
PT 240	2368244.30	1620039.28	282.70	EDGE OF ASPHALT
PT 241	2368270.16	1620083.94	282.70	EDGE OF ASPHALT
PT 242	2368282.32	1620093.25	282.56	EDGE OF ASPHALT
PT 243	2368234.18	1619948.18	281.70	EDGE OF GRAVEL
PT 244	2368236.42	1619945.25	281.68	EDGE OF ASPHALT
PT 245	2368232.48	1619938.45	281.50	EDGE OF ASPHALT
PT 246	2368220.33	1619929.14	281.50	EDGE OF GRAVEL
PT 247	2368178.27	1619917.93	282.03	EDGE OF GRAVEL
PT 248	2368175.95	1619920.73	282.10	EDGE OF ASPHALT
PT 249	2368178.77	1619926.12	282.18	EDGE OF ASPHALT
PT 250	2368179.81	1619927.89	282.21	EDGE OF ASPHALT
PT 251	2368191.78	1619936.88	282.10	EDGE OF GRAVEL
PT 252	2368165.97	1619823.58	280.65	EDGE OF ASPHALT
PT 253	2368150.36	1619796.64	280.65	EDGE OF ASPHALT
PT 254	2368126.60	1619787.73	281.10	EDGE OF ASPHALT
PT 255	2368119.49	1619791.41	281.20	EDGE OF ASPHALT
PT 256	2368122.22	1619811.92	281.30	EDGE OF GRAVEL
PT 257	2368147.01	1619767.62	281.01	EDGE OF ASPHALT
PT 258	2368139.58	1619716.86	280.50	EDGE OF ASPHALT
PT 259	2368115.31	1619673.48	280.50	EDGE OF ASPHALT
PT 260	2368081.39	1619645.71	280.60	EDGE OF ASPHALT
PT 261	2368037.28	1619609.61	281.45	EDGE OF ASPHALT
PT 262	2368040.64	1619643.27	281.10	EDGE OF ASPHALT
PT 263	2368051.90	1619672.67	280.90	EDGE OF ASPHALT
PT 264	2368061.58	1619685.91	280.80	EDGE OF ASPHALT
PT 265	2368086.67	1619691.99	281.45	EDGE OF ASPHALT
PT 266	2368092.36	1619689.15	281.60	EDGE OF ASPHALT
PT 267	2368106.58	1619682.03	281.25	EDGE OF ASPHALT
PT 268	2368118.30	1619684.08	281.03	EDGE OF ASPHALT
PT 269	2368135.67	1619724.65	281.11	EDGE OF ASPHALT
PT 270	2368130.25	1619735.05	281.31	EDGE OF ASPHALT
PT 271	2368125.19	1619737.57	281.43	EDGE OF ASPHALT
PT 272	2368120.92	1619746.23	281.60	EDGE OF ASPHALT
PT 273	2368124.61	1619765.54	281.60	EDGE OF ASPHALT
PT 274	2368126.89	1619767.14	281.52	EDGE OF ASPHALT
PT 275	2368145.70	1619768.71	281.05	EDGE OF ASPHALT
PT 276	2368062.85	1619459.96	280.45	EDGE OF ASPHALT
PT 277	2368058.00	1619411.41	280.45	EDGE OF ASPHALT
PT 278	2368017.89	1619415.41	281.40	EDGE OF ASPHALT
PT 280	2368394.18	1620217.68	280.97	EDGE OF ASPHALT
PT 281	2368369.43	1620174.94	281.70	EDGE OF ASPHALT/GRAVEL
PT 285	2368334.55	1620015.14	282.70	EDGE OF ASPHALT
PT 286	2368799.23	1620092.84	289.12	EDGE OF ASPHALT
PT 290	2368202.90	1619967.79	282.35	EDGE OF ASPHALT
PT 291	2368006.96	1619381.95	280.68	EDGE OF CONCRETE EDGE REINF.
PT 301	2368041.91	1619699.46	279.82	TOP OF ASPHALT
PT 302	2368033.73	1619688.28	279.20	TOP OF LANDING

JIMS' LANDING LAYOUT POINT TABLE				
POINT NO.	NORTHING	EASTING	ELEV.	NOTES
PT 303	2368026.28	1619684.18	278.92	EDGE OF LANDING
PT 304	2368009.73	1619651.09	0.00	EDGE OF LANDING
PT 305	2367979.75	1619666.09	276.70	EDGE OF LANDING
PT 306	2367976.34	1619685.68	275.30	TOE OF LANDING
PT 307	2367987.71	1619697.89	274.60	TOE OF LANDING
PT 308	2367997.96	1619706.18	274.00	TOE OF LANDING
PT 309	2368012.27	1619734.80	274.00	TOE OF RAMP
PT 312	2368033.75	1619777.73	274.00	TOE OF RAMP
PT 313	2368069.52	1619759.83	279.20	TOP OF RAMP
PT 316	2368048.05	1619716.90	279.20	TOP OF RAMP
PT 317	2368047.97	1619689.68	280.50	TOP OF ASPHALT
PT 401	2368669.85	1620083.34	284.00	EDGE OF ASPHALT
PT 403	2368607.95	1620113.56	282.00	EDGE OF ASPHALT
PT 404	2368562.87	1620135.57	281.65	EDGE OF ASPHALT
PT 405	2368517.96	1620157.50	281.40	EDGE OF CONCRETE EDGE REINF.
PT 406	2368473.16	1620179.38	280.65	EDGE OF CONCRETE EDGE REINF.
PT 414	2368264.33	1619943.56	281.10	EDGE OF CONCRETE EDGE REINF.
PT 415	2368257.32	1619931.45	281.10	EDGE OF CONCRETE EDGE REINF.
PT 417	2368212.46	1619851.98	280.10	EDGE OF CONCRETE EDGE REINF.
PT 418	2368196.18	1619825.87	280.20	EDGE OF CONCRETE EDGE REINF.
PT 419	2368179.91	1619797.78	280.25	EDGE OF CONCRETE EDGE REINF.
PT 420	2368183.41	1619797.67	280.29	EDGE OF ASPHALT
PT 421	2368192.08	1619808.03	280.94	EDGE OF ASPHALT
PT 422	2368200.16	1619817.70	281.55	EDGE OF ASPHALT
PT 423	2368217.20	1619838.22	282.80	EDGE OF ASPHALT/CONCRETE
PT 424	2368224.47	1619850.76	282.80	EDGE OF CONCRETE
PT 425	2368231.39	1619846.76	282.90	VAULT TOILET CORNER
PT 426	2368241.77	1619840.74	282.90	VAULT TOILET CORNER
PT 427	2368234.50	1619828.19	282.90	VAULT TOILET CORNER
PT 429	2368224.12	1619834.21	282.90	VAULT TOILET CORNER
PT 430	2368204.13	1619814.65	281.64	EDGE OF ASPHALT
PT 431	2368195.91	1619804.83	281.03	EDGE OF ASPHALT
PT 432	2368187.24	1619794.46	280.38	EDGE OF ASPHALT
PT 433	2368177.41	1619793.45	280.22	EDGE OF ASPHALT
PT 436	2368261.64	1619928.94	281.00	EDGE OF CONCRETE EDGE REINF.
PT 438	2368266.66	1619941.05	281.00	EDGE OF CONCRETE EDGE REINF.
PT 439	2368085.01	1619816.26	281.19	EDHNE OF GRAVEL
PT 440	2368062.49	1619777.30	280.80	EDHNE OF GRAVEL
PT 501	2368417.26	1620224.98	280.24	TOP OF ASPHALT
PT 510	2368320.71	1620203.15	283.10	TOP OF ASPHALT
PT 511	2368336.82	1620230.98	282.74	TOP OF ASPHALT
PT 513	2368178.72	1619845.61	280.85	EDGE OF ASPHALT
PT 514	2368130.44	1619832.74	281.30	EDGE OF ASPHALT
PT 516	2368006.00	1619684.26	277.01	TOP OF GRAVEL
PT 517	2368074.50	1619576.76	280.45	EDGE OF ASPHALT
PT 523	2368030.40	1619540.66	281.45	EDGE OF ASPHALT
PT 524	2368004.68	1619444.08	281.00	TOP OF ASPHALT
PT 526	2368014.47	1619542.25	281.00	TOP OF ASPHALT
PT 527	2368020.93	1619606.90	281.00	TOP OF ASPHALT
PT 529	2368065.93	1619707.95	280.90	TOP OF ASPHALT
PT 530	2368087.41	1619750.88	280.90	TOP OF ASPHALT
PT 531	2368385.79	1620280.92	282.00	EDGE OF OVERFLOW TRANS.
PT 533	2368439.33	1620283.65	282.00	EDGE OF OVERFLOW TRANS.
PT 536	2368223.60	1620003.53	282.60	BOARDWALK, TOP OF DECK
PT 537	2368271.84	1620006.41	281.70	EDGE OF ASPHALT
PT 538	2368181.29	1619798.14	279.75	SWALE INVERT



OFFSITE PARKING LAYOUT POINT TABLE				
POINT NO.	NORTHING	EASTING	ELEV.	NOTES
PT				
PT 602	2368751.79	1619806.73	286.13	EDGE OF GRAVEL / MATCH EXISTING
PT 603	2368690.92	1619838.88	283.90	EDGE OF GRAVEL
PT 604	2368667.07	1619822.50	282.71	EDGE OF GRAVEL
PT 605	2368645.14	1619815.52	282.00	EDGE OF GRAVEL
PT 610	2368445.40	1619751.94	282.00	EDGE OF GRAVEL
PT 611	2368374.31	1619790.63	281.66	EDGE OF GRAVEL
PT 612	2368411.39	1619858.79	282.20	TOP OF GRAVEL
PT 617	2368611.50	1619922.48	282.20	EDGE OF GRAVEL
PT 618	2368639.94	1619923.80	282.20	EDGE OF GRAVEL
PT 619	2368665.71	1619918.16	282.70	EDGE OF GRAVEL
PT 620	2368685.19	1619908.94	283.68	EDGE OF GRAVEL
PT 621	2368700.90	1619900.72	284.48	EDGE OF GRAVEL
PT 622	2368716.50	1619895.95	285.22	EDGE OF GRAVEL
PT 623	2368740.25	1619888.68	286.33	EDGE OF GRAVEL
PT 624	2368783.95	1619911.92	287.68	EDGE OF GRAVEL / MATCH EXISTING
PT 626	2368767.87	1619859.32	286.91	EDGE OF GRAVEL / MATCH EXISTING
PT 627	2368393.63	1619795.78	282.49	EDGE OF GRAVEL
PT 630	2368728.55	1619850.43	285.68	EDGE OF GRAVEL
PT 701	2368680.07	1619854.13	283.81	EDGE OF GRAVEL

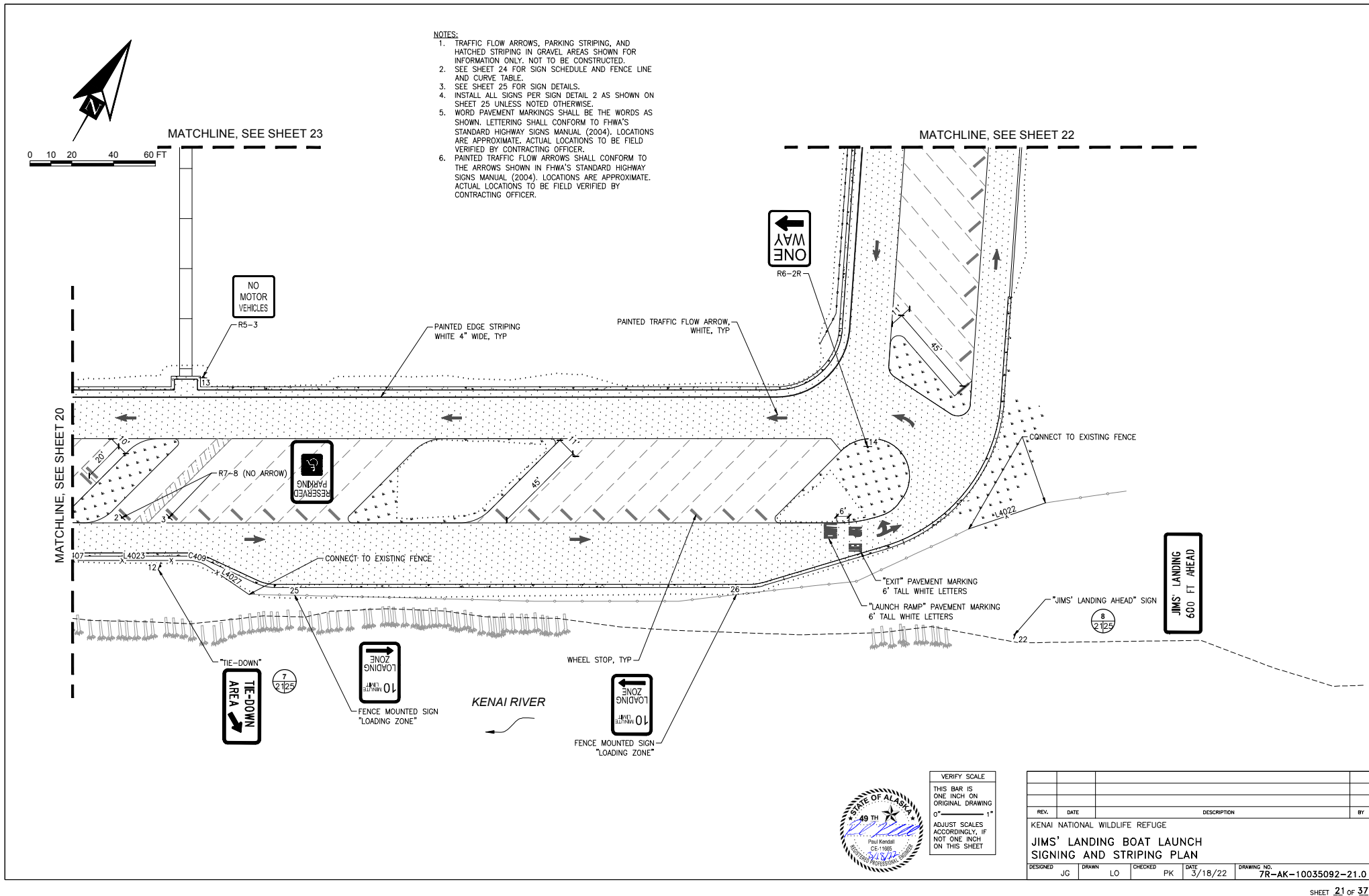
OFFSITE PARKING LAYOUT POINT TABLE				
POINT NO.	NORTHING	EASTING	ELEV.	NOTES
PT 702	2368661.21	1619841.82	283.11	EDGE OF GRAVEL
PT 703	2368641.57	1619843.54	282.71	EDGE OF GRAVEL
PT 704	2368611.37	1619859.15	283.30	EDGE OF GRAVEL
PT 706	2368660.89	1619883.08	283.50	EDGE OF GRAVEL
PT 707	2368620.03	1619904.21	282.70	EDGE OF GRAVEL
PT 708	2368639.48	1619905.48	282.76	EDGE OF GRAVEL
PT 709	2368661.86	1619900.58	283.22	EDGE OF GRAVEL
PT 710	2368388.77	1619858.79	281.85	EDGE OF CONCRETE EDGE REINF.
PT 711	2368392.78	1619865.71	281.85	EDGE OF CONCRETE EDGE REINF.
PT 712	2368456.64	1619777.15	282.50	EDGE OF GRAVEL
PT 713	2368439.34	1619771.00	282.50	EDGE OF GRAVEL
PT 714	2368436.53	1619838.11	282.90	EDGE OF GRAVEL
PT 715	2368468.19	1619821.75	283.50	EDGE OF GRAVEL
PT 716	2368393.27	1619849.06	282.00	EDGE OF GRAVEL
PT 717	2368424.41	1619862.93	282.20	EDGE OF GRAVEL
PT 718	2368394.27	1619868.29	281.85	EDGE OF GRAVEL
PT 719	2368387.28	1619856.22	281.85	EDGE OF GRAVEL
PT 720	2368390.70	1619862.29	281.85	BOARDWALK, TOP OF DECK
PT 722	2368417.46	1619839.73	282.50	EDGE OF GRAVEL
PT 723	2368463.14	1619811.97	283.29	EDGE OF GRAVEL

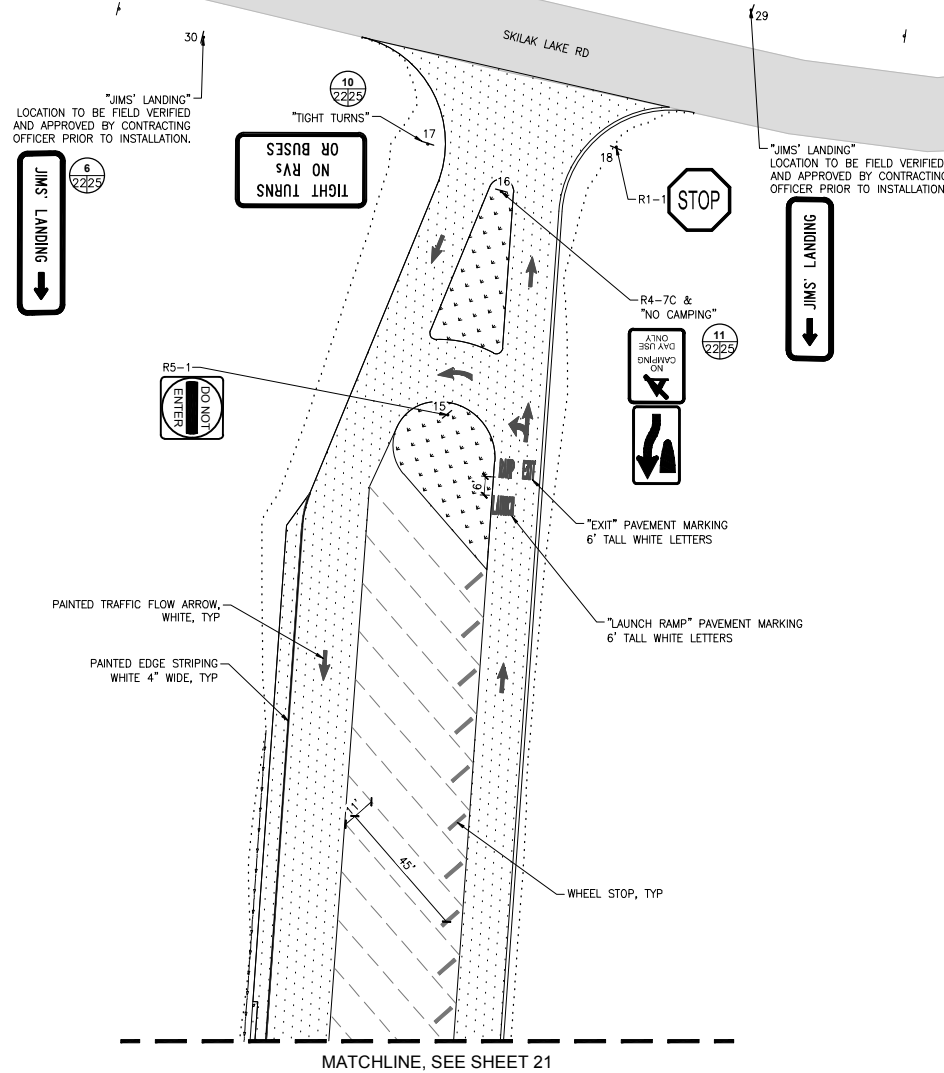
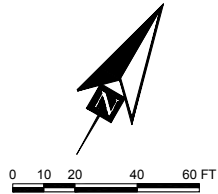
OFFSITE PARKING LAYOUT POINT TABLE				
POINT NO.	NORTHING	EASTING	ELEV.	NOTES
PT 724	2368453.36	1619817.02	283.50	EDGE OF GRAVEL
PT 725	2368448.31	1619807.25	283.29	EDGE OF GRAVEL
PT 726	2368438.54	1619812.30	283.50	EDGE OF GRAVEL
PT 727	2368433.49	1619802.53	283.29	EDGE OF GRAVEL
PT 728	2368423.72	1619807.59	283.50	EDGE OF GRAVEL
PT 729	2368418.66	1619797.82	283.29	EDGE OF GRAVEL
PT 731	2368685.41	1619872.66	284.20	EDGE OF GRAVEL
PT 732	2368655.84	1619873.31	283.30	EDGE OF GRAVEL
PT 733	2368648.07	1619878.36	283.50	EDGE OF GRAVEL
PT 734	2368641.02	1619868.59	283.30	EDGE OF GRAVEL
PT 735	2368631.25	1619873.64	283.50	EDGE OF GRAVEL
PT 736	2368626.19	1619863.87	283.30	EDGE OF GRAVEL
PT 737	2368616.42	1619868.92	283.50	EDGE OF GRAVEL
PT 738	2368741.91	1619842.82	286.22	EDGE OF GRAVEL
PT 739	2368748.75	1619865.17	286.55	TOP OF GRAVEL
PT 740	2368755.58	1619887.53	286.88	EDGE OF GRAVEL
PT 741	2368736.23	1619869.00	286.00	EDGE OF GRAVEL
PT 742	2368704.19	1619868.92	284.79	EDGE OF GRAVEL
PT 743	2368703.61	1619880.09	284.83	EDGE OF GRAVEL



VERIFY SCALE
THIS BAR IS
ONE INCH ON
ORIGINAL DRAWING
0" = 1"
ADJUST SCALES
ACCORDINGLY, IF
NOT ONE INCH
ON THIS SHEET

REV.	DATE	DESCRIPTION	BY
KENAI NATIONAL WILDLIFE REFUGE			
JIMS' LANDING BOAT LAUNCH			
GRADING PLAN - OFFSITE PARKING			
DESIGNED	JG	DRAWN	OR
CHECKED	PK	DATE	3/18/22
DRAWING NO.	7R-AK-10035092-19.0		



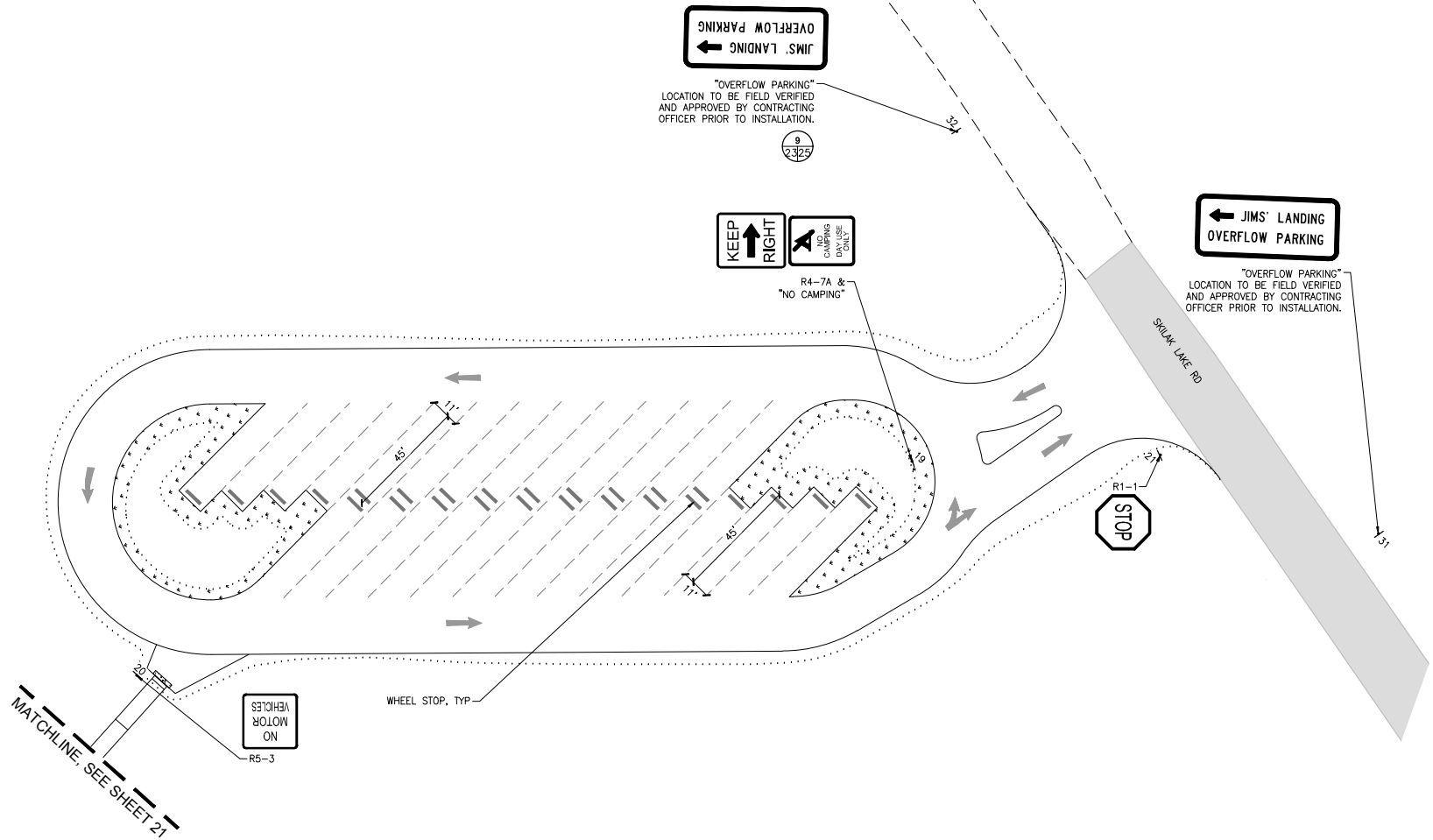
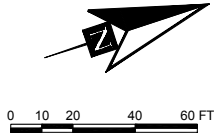


- NOTES:
1. TRAFFIC FLOW ARROWS, PARKING STRIPING, AND HATCHED STRIPING IN GRAVEL AREAS SHOWN FOR INFORMATION ONLY. NOT TO BE CONSTRUCTED.
 2. SEE SHEET 24 FOR SIGN SCHEDULE AND FENCE LINE AND CURVE TABLE.
 3. SEE SHEET 25 FOR SIGN DETAILS.
 4. INSTALL ALL SIGNS PER SIGN DETAIL 5 AS SHOWN ON SHEET 25 UNLESS NOTED OTHERWISE.
 5. WORD PAVEMENT MARKINGS SHALL BE THE WORDS AS SHOWN. LETTERING SHALL CONFORM TO FHWA'S STANDARD HIGHWAY SIGNS MANUAL (2004). LOCATIONS ARE APPROXIMATE. ACTUAL LOCATIONS TO BE FIELD VERIFIED BY CONTRACTING OFFICER.
 6. PAINTED TRAFFIC FLOW ARROWS SHALL CONFORM TO THE ARROWS SHOWN IN FHWA'S STANDARD HIGHWAY SIGNS MANUAL (2004). LOCATIONS ARE APPROXIMATE. ACTUAL LOCATIONS TO BE FIELD VERIFIED BY CONTRACTING OFFICER.



VERIFY SCALE
THIS BAR IS
ONE INCH ON
ORIGINAL DRAWING
0" ————— 1"
ADJUST SCALES
ACCORDINGLY, IF
NOT ONE INCH
ON THIS SHEET

REV.	DATE	DESCRIPTION	BY
KENAI NATIONAL WILDLIFE REFUGE			
JIMS' LANDING BOAT LAUNCH			
SIGNING AND STRIPING PLAN			
DESIGNED	DRAWN	CHECKED	PK
JG	LO		
DATE	3/18/22	DRAWING NO.	7R-AK-10035092-22.0



- NOTE:
1. TRAFFIC FLOW ARROWS, PARKING STRIPING, AND HATCHED STRIPING IN GRAVEL AREAS SHOWN FOR INFORMATION ONLY. NOT TO BE CONSTRUCTED.
 2. SEE SHEET 24 FOR SIGN SCHEDULE AND FENCE LINE AND CURVE TABLE.
 3. SEE SHEET 25 FOR SIGN DETAILS.
 4. INSTALL ALL SIGNS PER SIGN DETAIL 5 AS SHOWN ON SHEET 25 UNLESS NOTED OTHERWISE.



VERIFY SCALE
THIS BAR IS
ONE INCH ON
ORIGINAL DRAWING
0" 1"
ADJUST SCALES
ACCORDINGLY, IF
NOT ONE INCH
ON THIS SHEET

REV.	DATE	DESCRIPTION	BY
DESIGNED	JG	DRAWN	LO
CHECKED	PK	DATE	3/18/22
DRAWING NO.	7R-AK-10035092-23.0		

KENAI NATIONAL WILDLIFE REFUGE
JIMS' LANDING BOAT LAUNCH
SIGNING AND STRIPING PLAN - OFFSITE PARKING



Diagram illustrating the installation of a wheel stop. The wheel stop is 8" wide and 1/2" thick. The finished grade is 1/2" above the top of the wheel stop. The epoxy-coated #4 bar is 24" long (2 bars) with a minimum of one end. The bar is 1/2" in diameter. The bar is embedded in the concrete wheel stop, which is 1/2" thick. The finished grade is 1/2" above the top of the concrete wheel stop.



Diagram of a rectangular traffic sign with the following specifications:

- Overall dimensions: 4'-0" wide by 1'-6" high.
- Corner radius: 2 1/4" RADIUS, TYP.
- Lettering: 4" LETTERS.
- Material: 1/8" ALUMINUM.
- Border: 1/2" SOLID BORDER, 1/2" FROM EDGE.

The sign text reads: JIMS' LANDING 600 FT AHEAD

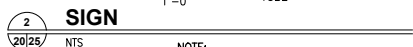


Diagram of a 'NO CAMPING DAY USE ONLY' sign with dimensions and callouts:

- Overall width: 1'-6"
- Overall height: 2'-0"
- Top corner radius: 1 1/2" RADIUS, TYP
- Symbol: RED SLASH
- Symbol: 6" TENT SYMBOL
- Text: 2" LETTERS
- Material: 1/8" ALUMINUM
- Border: 1/2" SOLID BORDER



Technical drawing of a signpost assembly. The drawing shows a vertical post with a sign mounted on top. The sign is labeled "SIGN". The post is labeled "3\" x 3\" x 1/16\" SQ. GALV STL TUBE". The sign is labeled "MOUNT SIGN W/ (2) 5/16\" GALV. STL. NUT, BOLT AND WASHER". The sign is labeled "2\" x 2\" TELESPAR 12 GAUGE WALL THK W/ KNOCKOUTS". The sign is labeled "5/16\" GALV. BOLT, NUT AND WASHERS". The sign is labeled "FINISHED GRADE". The sign is labeled "SET POST IN CONCRETE". The sign is labeled "7'-0\" MIN". The sign is labeled "4'-0\"". The sign is labeled "3'-6\"". The sign is labeled "1'-0\"". The sign is labeled "1/4\" MIN". The sign is labeled "1/4\" MAX".



3 LOADING ZONE SIGN

Diagram of a 10-minute loading zone sign. The sign is rectangular with a width of 1'-0" and a height of 1'-6". It features a thick black border and rounded corners with a 1 1/2" radius. The text "10 MINUTE LIMIT" is displayed in large, bold, sans-serif capital letters. Below this, the words "LOADING ZONE" are written in a smaller font, followed by a large black arrow pointing to the left. The sign is made of 1/8" aluminum.

- 1'-0"
- 1'-6"
- 1 1/2" RADIUS, TYP
- 4" NUMBERS
- 1 1/2" LETTERS
- 1/8" ALUMINUM
- 3" LETTERS
- 1/2" SOLID BORDER

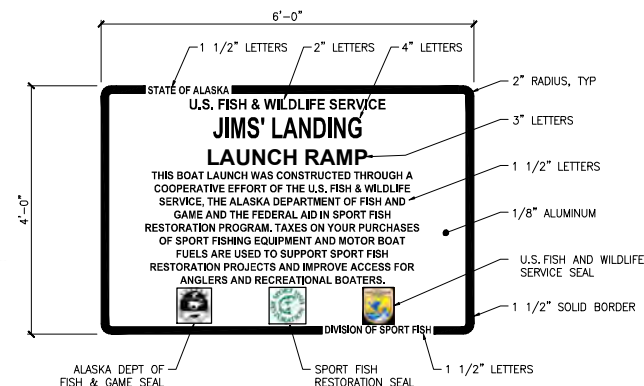


Diagram of a Tie-Down Area sign with dimensions and specifications:

- Overall width: 2'-0"
- Overall height: 1'-0"
- Top corners: 1 1/2" RADIUS, TYPE 304
- Text: 3" LETTERS
- Border: 1/8" ALUMINUM
- Arrow: 30° ANGLED ARROW
- Arrow shaft: 3/4" SOLID BORDER



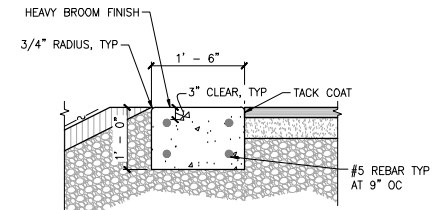
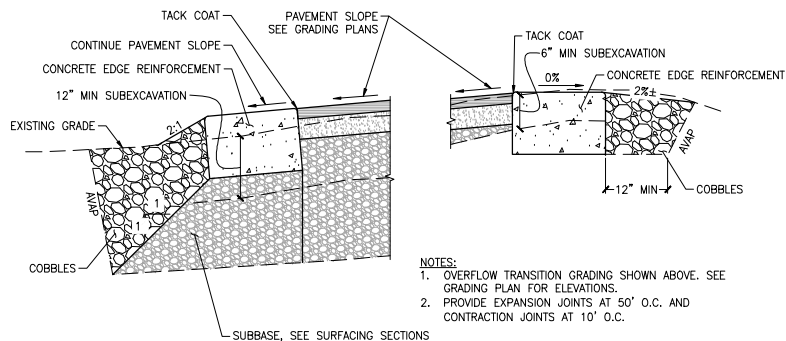
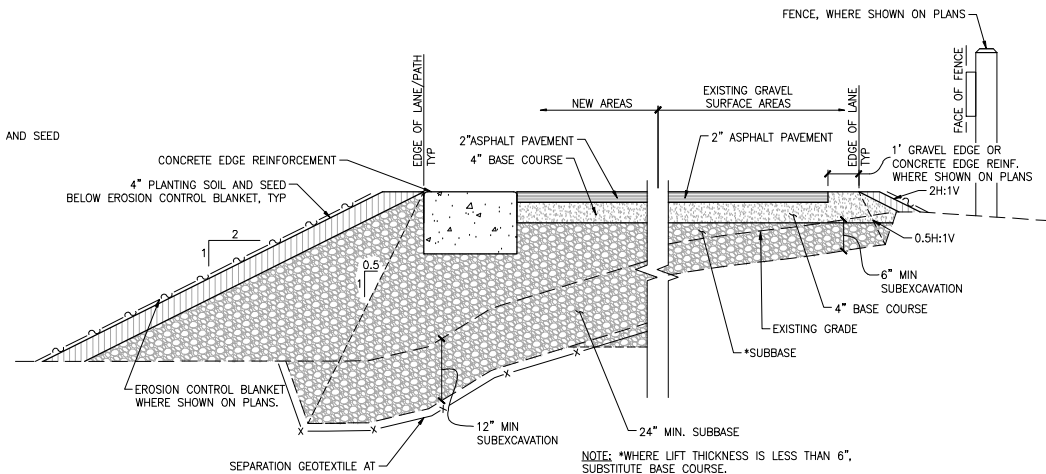
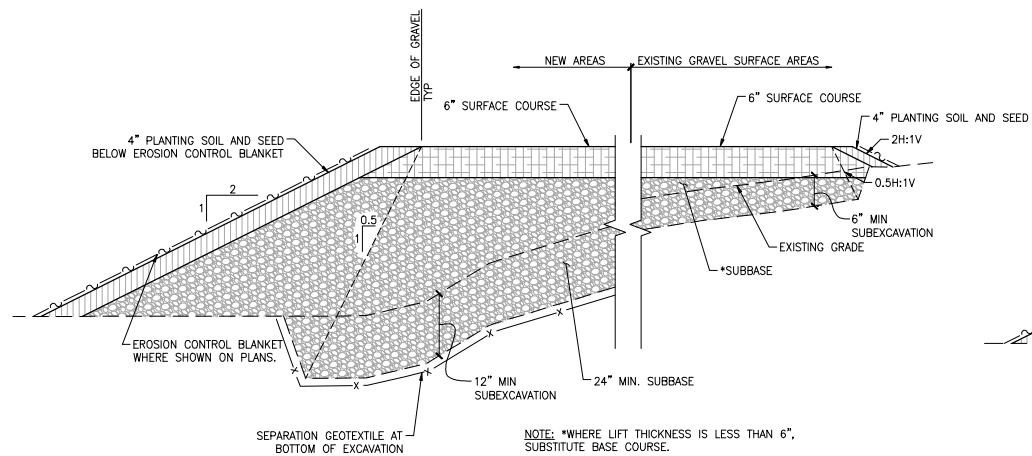
Technical drawing of a rectangular sign with dimensions and callouts:

- Overall width: 3'-6"
- Overall height: 2'-0"
- Top-left corner: 2 1/4" RADIUS, TYP
- Text: "TIGHT TURNS", "NO RVs", "OR BUSES" (4" LETTERS)
- Material: 1/8" ALUMINUM
- Bottom border: 1/2" SOLID BORDER 1/2" FROM EDGE



VERIFY SCALE
THIS BAR IS
ONE INCH ON
ORIGINAL DRAWING
0"—————"
ADJUST SCALES
ACCORDINGLY, IF
NOT ONE INCH
ON THIS SHEET

REV.	DATE				DESCRIPTION		BY
KENAI NATIONAL WILDLIFE REFUGE							
JIMS' LANDING BOAT LAUNCH							
SIGNING AND STRIPING - DETAILS							
DESIGNED	JG	DRAWN	LO	CHECKED	PK	DATE 3/18/22	DRAWING NO. 7R-AK-10035092-25.0



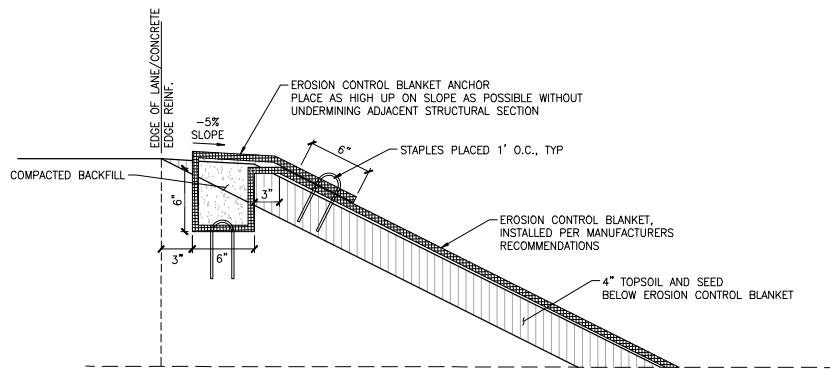
NOTE:

1. CONCRETE EDGE REINFORCEMENT TO MATCH ADJACENT ROAD GRADING, EXCEPT AS SHOWN ON OVERFLOW TRANSITION DETAIL. SEE GRADING PLAN.
2. PROVIDE EXPANSION JOINTS AT 50' O.C. AND CONTRACTION JOINTS AT 10' O.C. SEAL EXPANSION JOINTS WITH HOT APPLIED JOINT SEALANT.

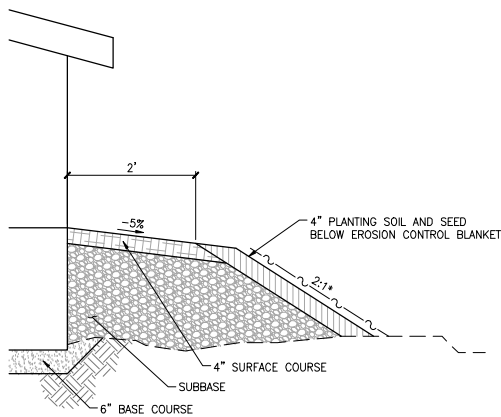


VERIFY SCALE
THIS BAR IS
ONE INCH ON
ORIGINAL DRAWING
0" ————— 1"
ADJUST SCALES
ACCORDINGLY, IF
NOT ONE INCH
ON THIS SHEET

REV.	DATE					DESCRIPTION			BY
KENAI NATIONAL WILDLIFE REFUGE									
JIMS' LANDING BOAT LAUNCH									
CIVIL DETAILS									
DESIGNED	JG	DRAWN	OR	CHECKED	PK	DATE	DRAWING NO.		
						3/18/22	7R-AK-10035092-26.0		

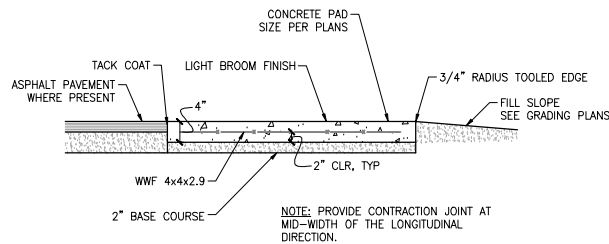


1 EROSION CONTROL BLANKET ANCHORING DETAIL
6/27 NTS

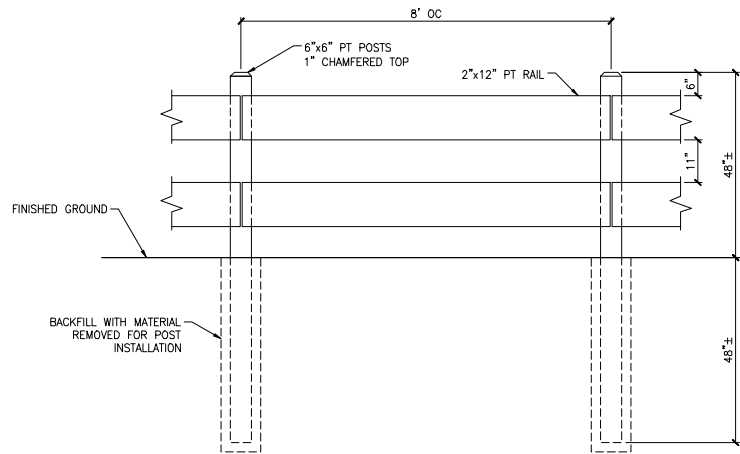


NOTE: *2:1 ON NORTH AND WEST SIDES.
3:1 ON EAST AND SOUTH SIDES.
SEE GRADING PLAN

3 VAULT TOILET FILL SECTION
6/27 NTS



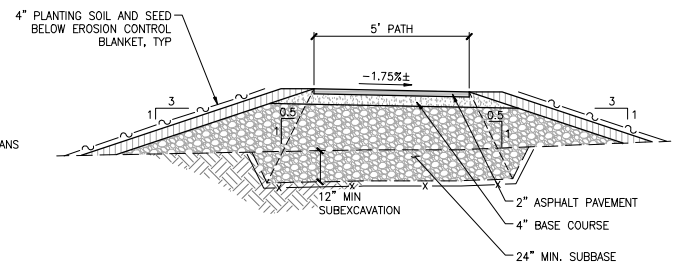
4 CONCRETE PAD
6/27 NTS



NOTES:

1. SET POSTS AND ATTACH RAILS TO BE PARALLEL WITH CONSTANT ELEVATION. WHERE ELEVATION CHANGES GRADUALLY, STEP FENCE HEIGHT BY 6" INCREMENTS. SET RAILS DIAGONALLY, MITERED WITH HORIZONTAL RAILS ON EACH SIDE. WHERE LONGER RUNS OCCUR, SET RAILS PARALLEL TO SLOPE.
2. UNFINISHED PT LUMBER. TREAT CUT ENDS PER MANUFACTURER'S RECOMMENDATIONS.
3. WHERE FENCE LAYOUT FOLLOWS CURVES, PLACE A POST AT THE END OF TANGENT, AND SUBSEQUENT POSTS ALONG THE CURVE IDENTIFIED IN THE PLANS.

2 FENCE
6/27 NTS

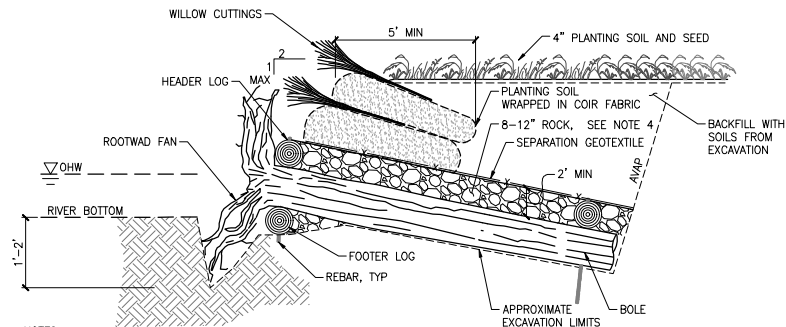


5 PEDESTRIAN PATH TO RESTROOM
6/27 NTS



VERIFY SCALE
THIS BAR IS
ONE INCH ON
ORIGINAL DRAWING
0" 1"
ADJUST SCALES
ACCORDINGLY, IF
NOT ONE INCH
ON THIS SHEET

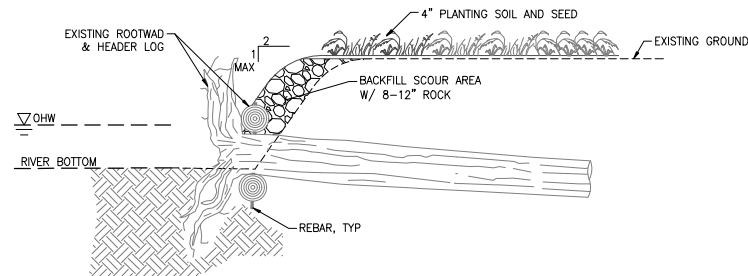
REV.	DATE	DESCRIPTION	BY
KENAI NATIONAL WILDLIFE REFUGE			
JIMS' LANDING BOAT LAUNCH			
CIVIL DETAILS			
DESIGNED	JG	DRAWN	OR
CHECKED	PK	DATE	3/18/22
DRAWING NO.	7R-AK-10035092-27.0		



NOTES:

1. ROOTWAD BOLE LENGTH: 15' MIN.
2. PLACE ROOTWAD SO THAT OHW IS APPROXIMATELY AT THE CENTERLINE OF FAN.
3. CLEAR AND GRUB AS NECESSARY TO ACCESS BANK AND CONSTRUCT IMPROVEMENTS.
4. PLACE ROCK BETWEEN AND AROUND LOG BOLES FROM BOTTOM OF EXCAVATION.

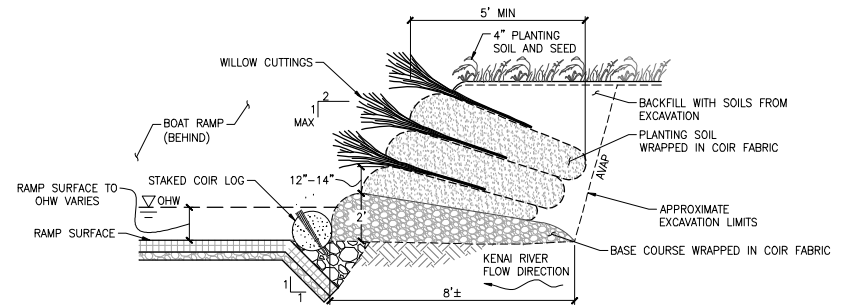
1 ROOTWAD BANK STABILIZATION
6/28 NTS



NOTE:

1. CLEAR AND GRUB AS NECESSARY TO ACCESS BANK AND CONSTRUCT IMPROVEMENTS.

3 ROOTWAD BANK STABILIZATION REPAIR
12/28 NTS



NOTE:

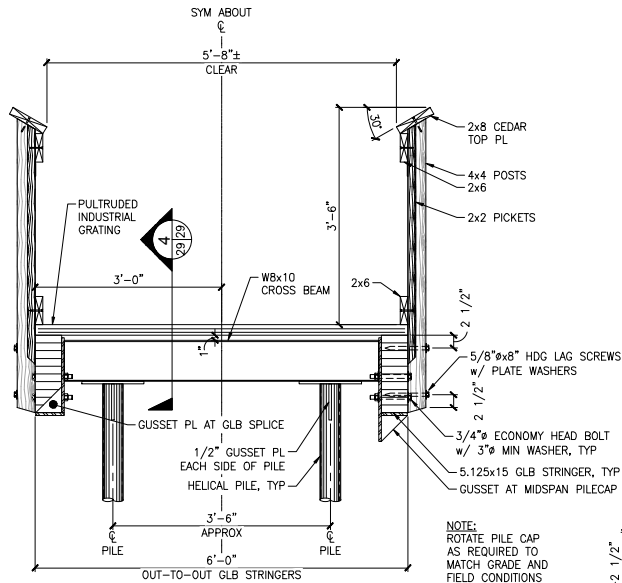
1. CLEAR AND GRUB AS NECESSARY TO ACCESS BANK AND CONSTRUCT IMPROVEMENTS.

2 BRUSH LAYERING
11/28 NTS

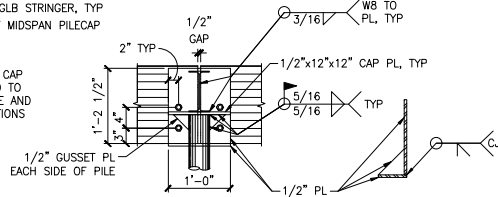


VERIFY SCALE
THIS BAR IS
ONE INCH ON
ORIGINAL DRAWING
0" 1"
ADJUST SCALES
ACCORDINGLY, IF
NOT ONE INCH
ON THIS SHEET

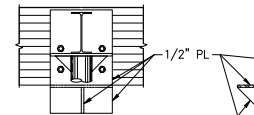
REV.	DATE	DESCRIPTION	BY
KENAI NATIONAL WILDLIFE REFUGE			
JIMS' LANDING BOAT LAUNCH			
CIVIL DETAILS			
DESIGNED	JG	DRAWN	OR
CHECKED	PK	DATE	3/18/22
DRAWING NO.	7R-AK-10035092-28.0		



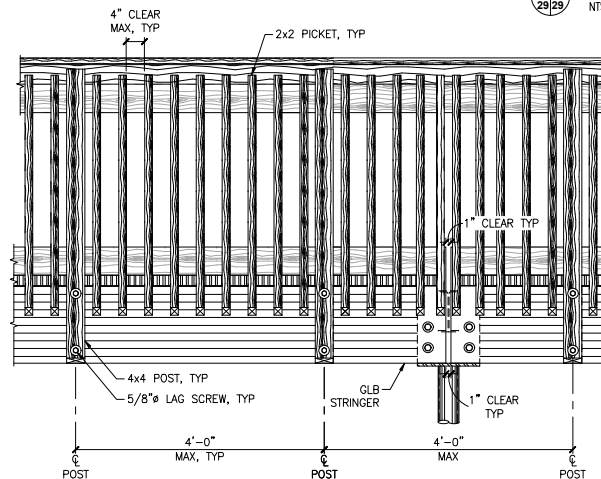
1 BOARDWALK TYPICAL SECTIONS
7/29 NTS



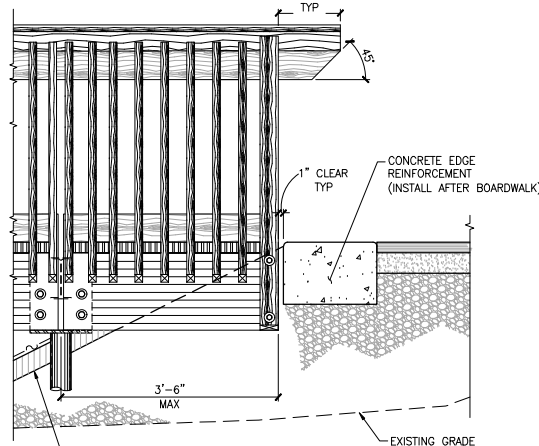
4 PILE CAP SECTION @ GLB SPLICE
29/29 NTS



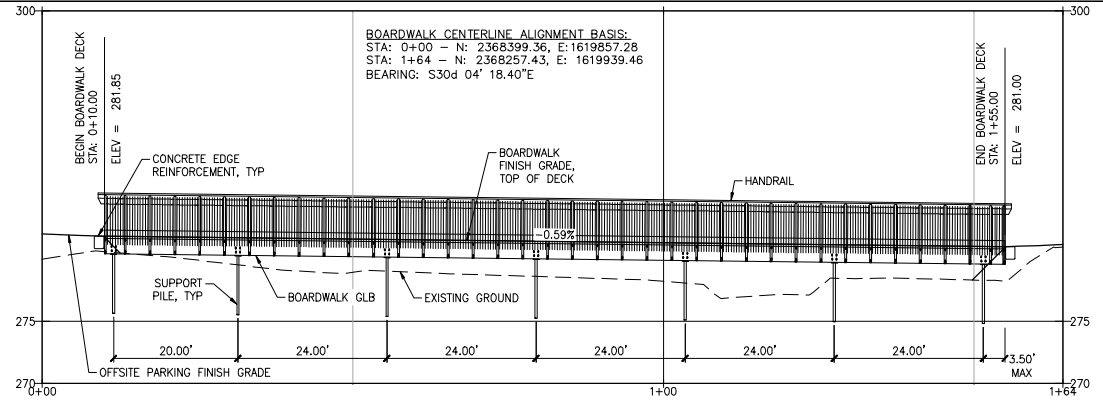
5 PILE CAP SECTION @ MIDSPAN
29/29 NTS
NOTE: ALL DETAILS NOT SHOWN SIM TO GLB SPLICE



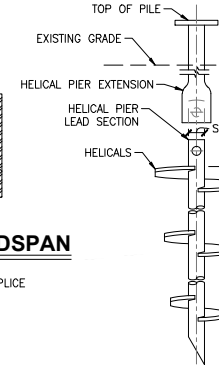
2 BOARDWALK RAILING TYPICAL & ENDS
29/29 NTS



3 BOARDWALK END
7/29 NTS



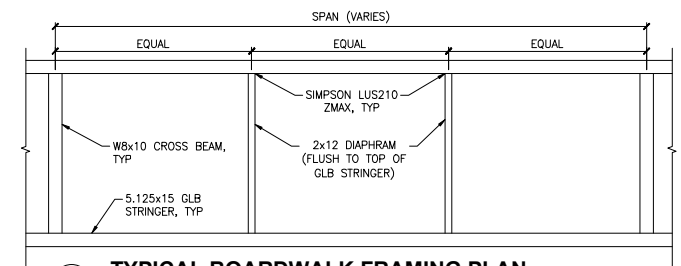
5 BOARDWALK CENTERLINE PROFILE
7/29 NTS 2x1H



- NOTES:**
1. HELICAL PILE LEAD SECTIONS SHALL BE CHANCE ANCHORS OR ENGINEER APPROVED EQUAL.
 2. SEE SPECIFICATIONS FOR INSTALLATION PROCEDURES.
 3. THE DESIGN PILE LOADING IS PROVIDED IN THE TABLE ABOVE. THE INSTALLATION TORQUE SHALL BE ESTABLISHED TO ACHIEVE THE REQUIRED VERTICAL CAPACITY BASED ON THE SELECTED HELICAL PILE SYSTEM AND A FACTOR OF SAFETY OF 3.0.
 4. DESIGN LOADINGS PROVIDED BELOW DO NOT INCLUDE ANY FACTOR OF SAFETY.
 5. FILL PRE-DRILLED VOID WITH GROUT AROUND HELICAL PILE.

DESIGN LOADING		
AREA	VERTICAL	LATERAL
BOARDWALK	6.2 k	3 k

6 HELICAL PILE
29/29 NTS

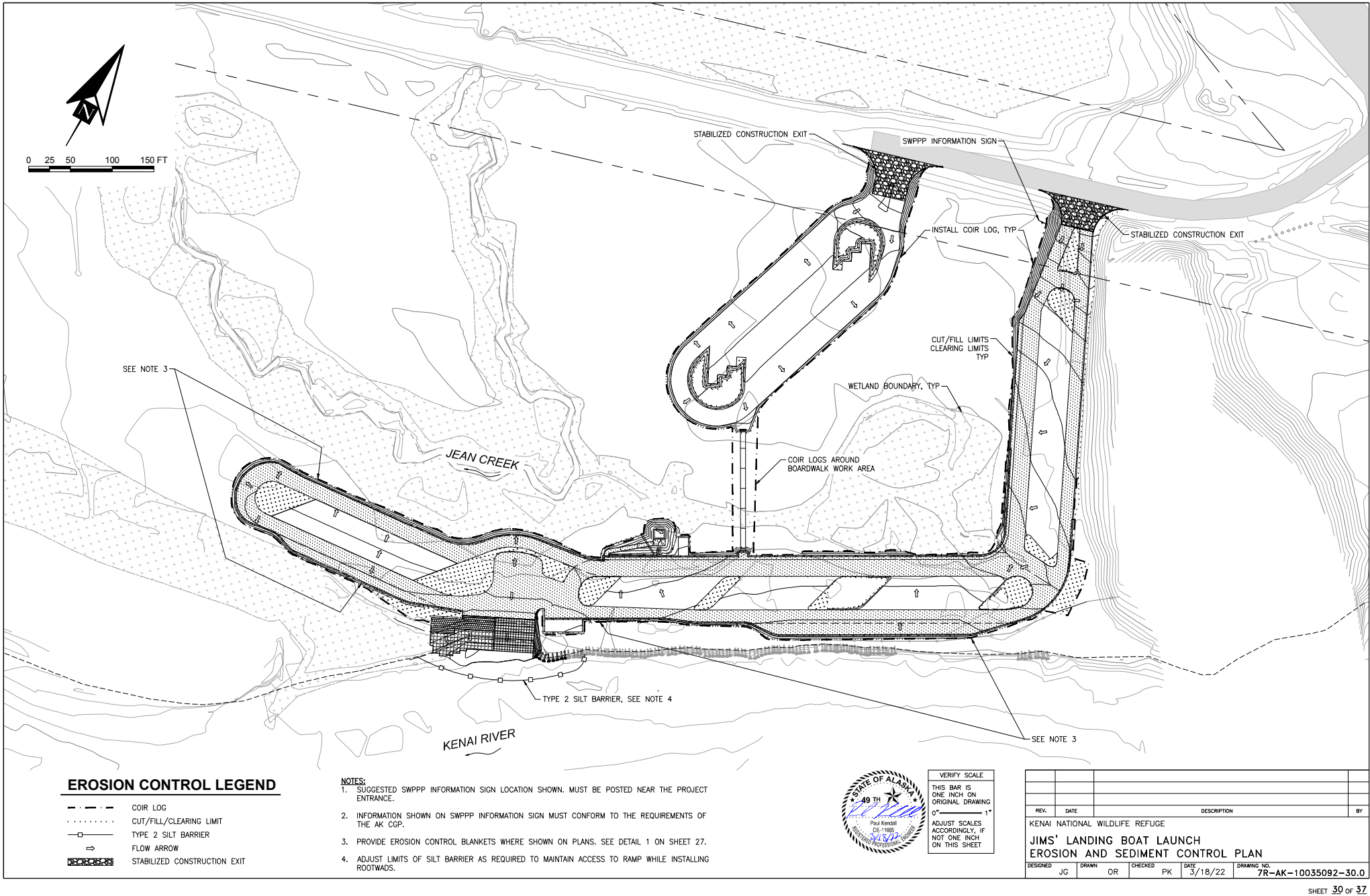


7 TYPICAL BOARDWALK FRAMING PLAN
29/29 NTS



VERIFY SCALE
THIS BAR IS ONE INCH ON ORIGINAL DRAWING
0" 1"
ADJUST SCALES ACCORDINGLY, IF NOT ONE INCH ON THIS SHEET

REV.	DATE	DESCRIPTION	BY
KENAI NATIONAL WILDLIFE REFUGE			
JIMS' LANDING BOAT LAUNCH			
CIVIL DETAILS			
DESIGNED	JG	DRAWN	OR
CHECKED	PK	DATE	3/18/22
DRAWING NO.		7R-AK-10035092-29.0	



POTENTIAL PHASING PLAN

PHASE 1:

- SEDIMENT AND EROSION CONTROL
- CLEARING AND GRUBBING
- SUBEXCAVATION AND PLACE SUBBASE FOR OFFSITE PARKING

PHASE 2:

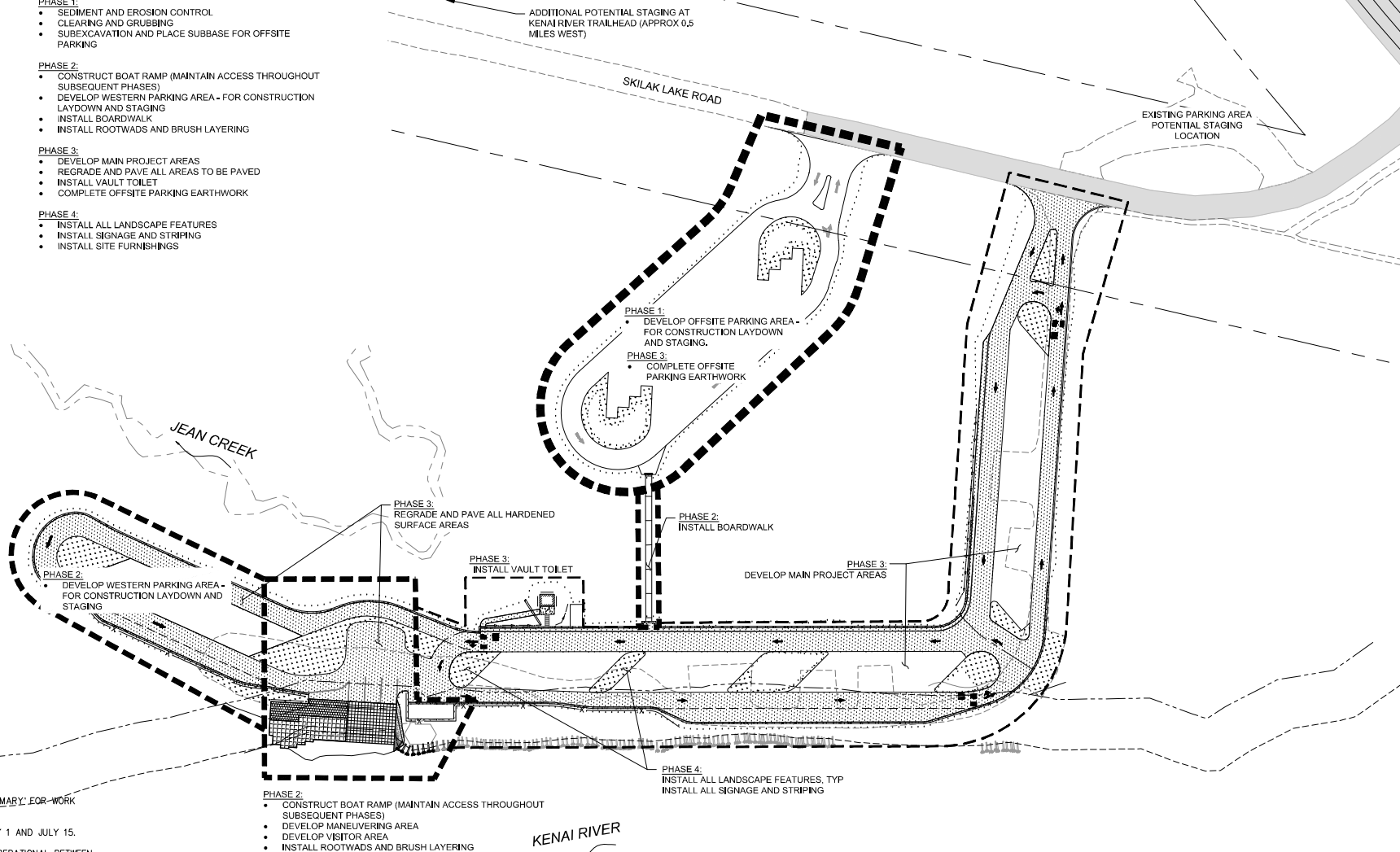
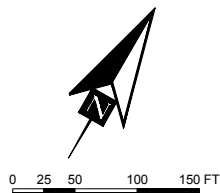
- CONSTRUCT BOAT RAMP (MAINTAIN ACCESS THROUGHOUT SUBSEQUENT PHASES)
- DEVELOP WESTERN PARKING AREA - FOR CONSTRUCTION LAYDOWN AND STAGING
- INSTALL BOARDWALK
- INSTALL ROOTWADS AND BRUSH LAYERING

PHASE 3:

- DEVELOP MAIN PROJECT AREAS
- REGRADE AND PAVE ALL AREAS TO BE PAVED
- INSTALL VAULT TOILET
- COMPLETE OFFSITE PARKING EARTHWORK

PHASE 4:

- INSTALL ALL LANDSCAPE FEATURES
- INSTALL SIGNAGE AND STRIPING
- INSTALL SITE FURNISHINGS



PHASING NOTES:

1. REFERENCE SPEC SECTION 64-10.00 'SUMMARY' FOR WORK RESTRICTIONS.
2. DO NOT CLEAR VEGETATION BETWEEN MAY 1 AND JULY 15.
3. THE RAMP SHALL BE FULLY OPEN AND OPERATIONAL BETWEEN JUNE 2 AND OCTOBER 30 UNLESS APPROVED BY CONTRACTING OFFICER.
4. BOARDWALK FOUNDATIONS COULD BE CONSTRUCTED DURING PHASE 1.
5. OFFSITE PARKING AREA MAY BE USED FOR PARKING AS SOON AS BOARDWALK IS CONSTRUCTED WITH A SAFE ROUTE TO THE RAMP.
6. DURING PHASES 3 AND 4, MAINTAIN TWO-WAY TRAFFIC WITHOUT DELAYS.

PHASE 2:

- CONSTRUCT BOAT RAMP (MAINTAIN ACCESS THROUGHOUT SUBSEQUENT PHASES)
- DEVELOP MANEUVERING AREA
- DEVELOP VISITOR AREA
- INSTALL ROOTWADS AND BRUSH LAYERING

PHASE 3:

- REGRADE AND PAVE ALL HARDENED SURFACE AREAS

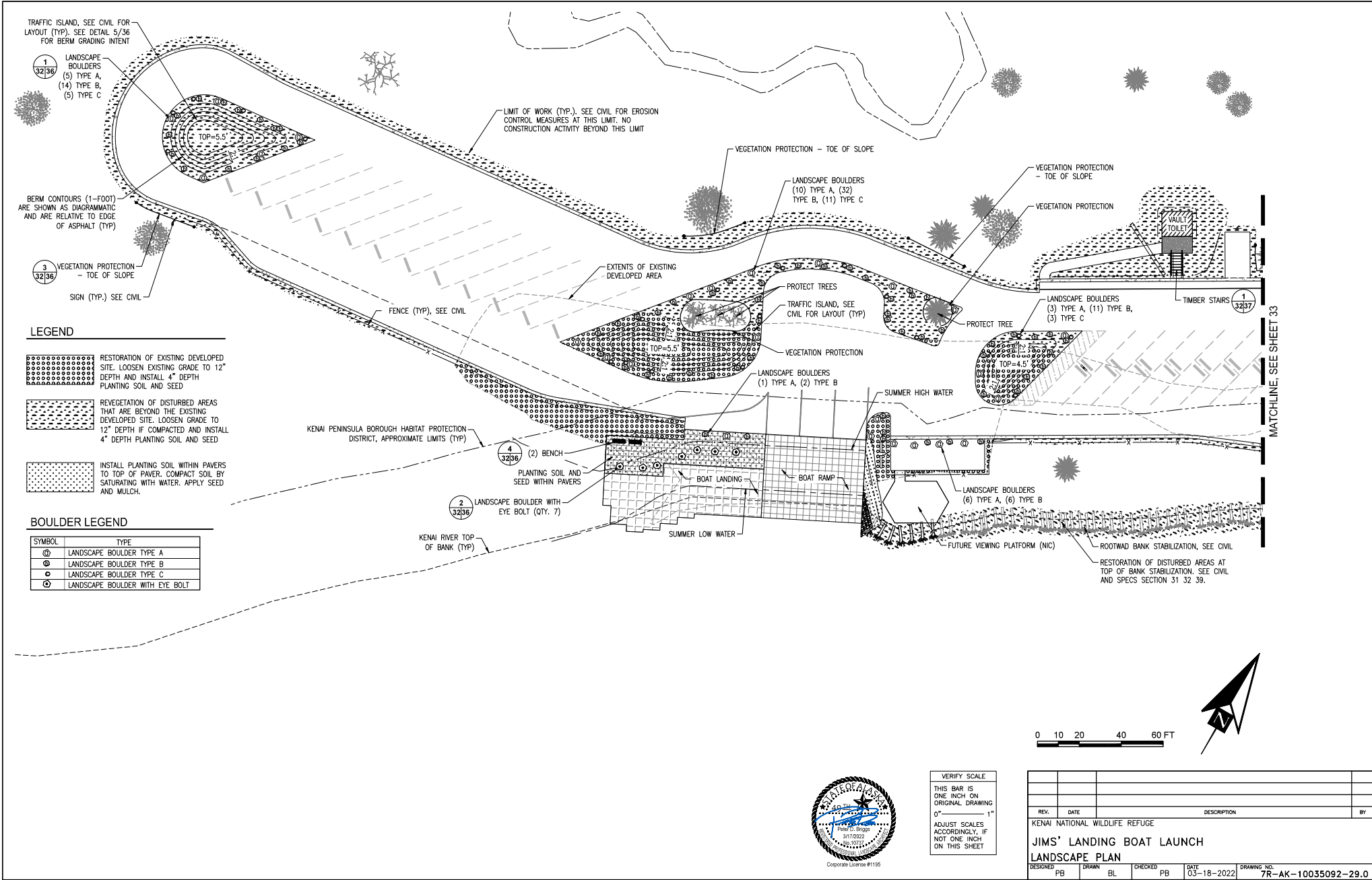
PHASE 4:

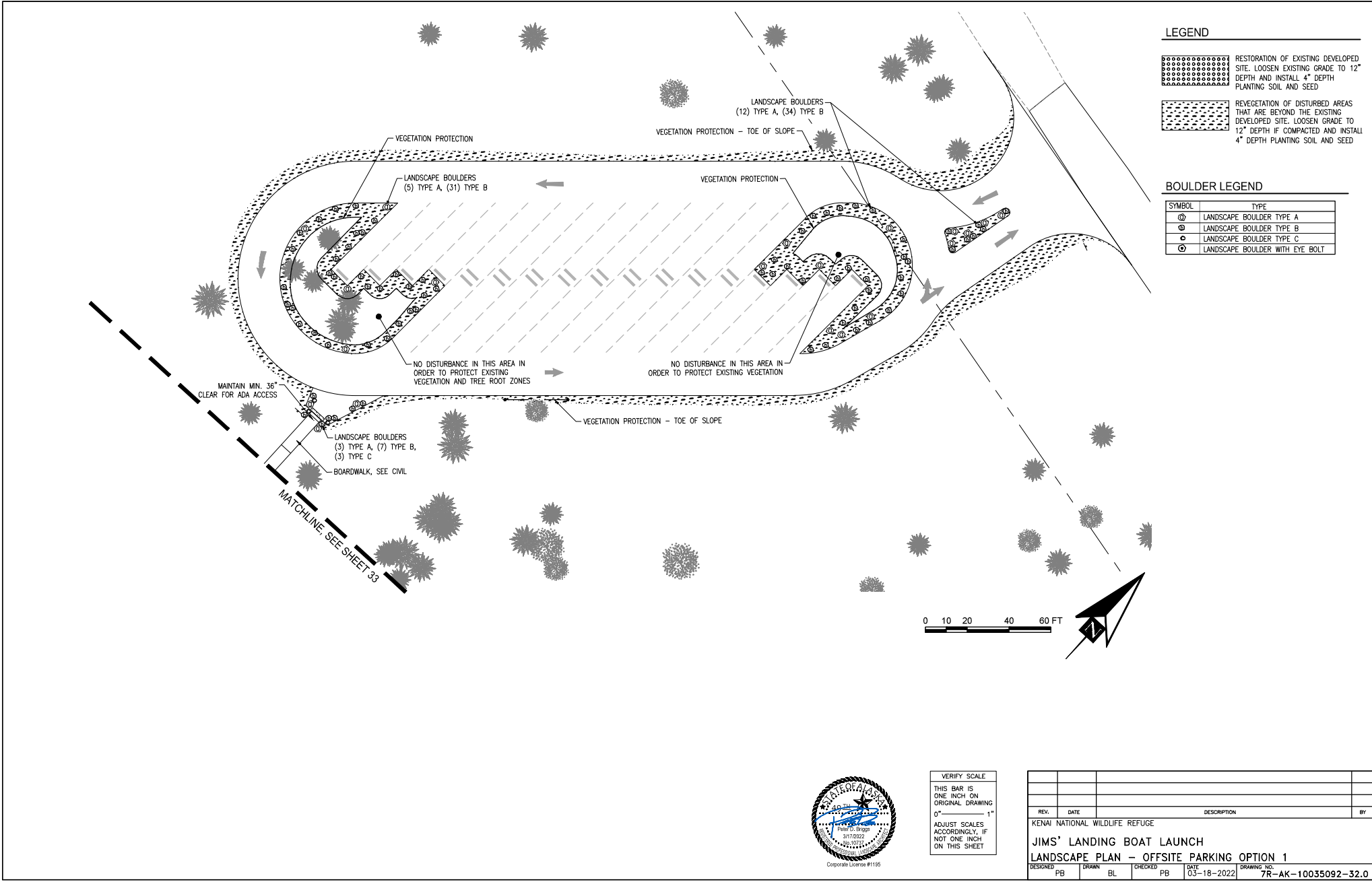
- INSTALL ALL LANDSCAPE FEATURES, TYP
- INSTALL ALL SIGNAGE AND STRIPING



VERIFY SCALE
THIS BAR IS
ONE INCH ON
ORIGINAL DRAWING
0" 1"
ADJUST SCALES
ACCORDINGLY, IF
NOT ONE INCH ON
THIS SHEET

REV.	DATE	DESCRIPTION	BY
KENAI NATIONAL WILDLIFE REFUGE			
JIMS' LANDING BOAT LAUNCH			
POTENTIAL PROJECT PHASING PLAN			
DESIGNED	JG	DRAWN	RC
CHECKED	PK	DATE	3/18/22
DRAWING NO.	7R-AK-10035092-31.0		

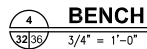




1. NO CONSTRUCTION ACTIVITY BEYOND PROTECTION FENCING.
2. LOCATE PROTECTION FENCING AS FAR OUT FROM THE TREE DRUPINE AS POSSIBLE, WITH MINIMUM LOCATION AT DRUPINE.
3. INSTALLING ON ALL SIDES ADJACENT TO CONSTRUCTION.
4. LENGTH OF PROTECTION FENCE SHALL NOT BE LESS THAN DIAMETER OF TREE DRUPINE.
5. INSTALL PROTECTION FENCE BEFORE WORK BEGINS.
6. PROTECTION FENCE TO BE MAINTAINED FOR DURATION OF WORK.
7. FENCE MAY BE REMOVED AT TIME OF SEEDING WITH CONTRACTOR'S OFFICIAL WRITTEN ACTION. FENCE SHALL BE REINSTALLED IF ADDITIONAL ADJACENT CONSTRUCTION IS TO OCCUR.
8. ABSOLUTELY NO CONTRACTOR USE OF ANY KIND WITHIN PROTECTED AREA WILL BE ALLOWED.
9. SEE DETAIL 6/36 FOR TREE ROOT PRUNING AT LIMIT OF WORK.

VEGETATION PROTECTION

VEGETATION PROTECTION



BOULDER SIZING AND PLACEMENT PER PLANS

NATIVE MATERIAL BACKFILL (WITH TOPSOIL AS PER PLANS)

MIN 1/3 TO MAX 1/2 BOULDER HEIGHT SHALL BE EXPOSED AS MEASURED ABOVE LOWEST ADJACENT GRADE TO HIGHPPOINT OF BOULDER

ENSURE BOULDERS ARE STABLE AND WITHOUT MOVEMENT

SUBGRADE

HORIZONTAL ORIENTATION

VERTICAL ORIENTATION

PLACE OR FILL TO ENSURE NO GAPS BELOW SPRINGLINE

ELEVATION (NTS)

ELEVATION VIEW
(NTS)



This diagram shows the elevation view of the rock formation. It is a line drawing with some areas shaded with diagonal lines to indicate depth and texture. The formation consists of several angular, blocky shapes. A horizontal line is drawn across the middle of the formation, representing the ground level or a specific elevation. The drawing is labeled 'ELEVATION VIEW' and '(NTS)' (Not To Scale).

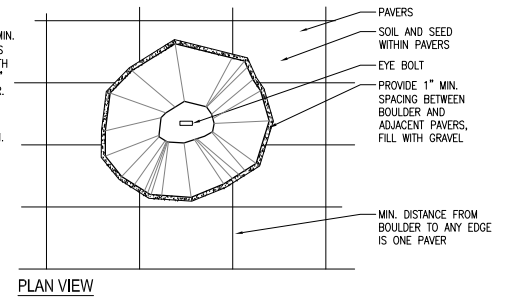
1 LANDSCAPE BOULDERS

LANDSCAPE BOULDERS

NOTES:
1. BOULDERS WITH EYE BOLT SHOULD BE NO HIGHER THAN 24" ABOVE ANY ADJACENT GRADE.

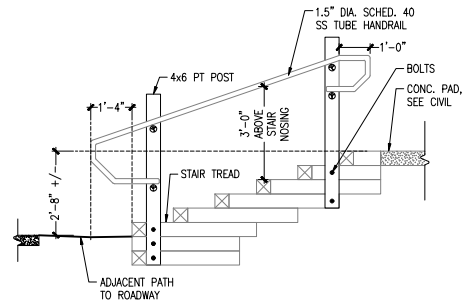
2 LANDSCAPE BOULDER WITH EYE BOLT

LANDSCAPE BOULDER WITH EYE BOLT

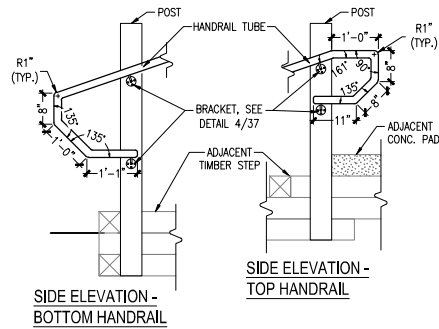


VERIFY SCALE
THIS BAR IS
ONE INCH ON
ORIGINAL DRAWING
0"—————
ADJUST SCALES
ACCORDINGLY, IF
NOT ONE INCH
ON THIS SHEET

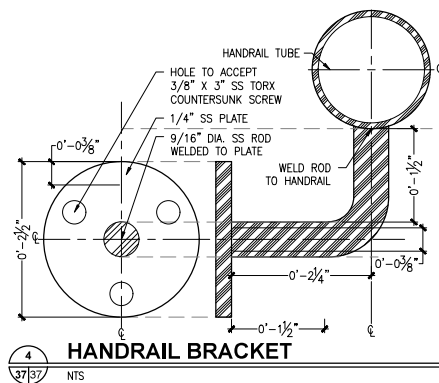
REV.	DATE					DESCRIPTION			BY
KENAI NATIONAL WILDLIFE REFUGE									
JIMS' LANDSCAPE BOAT LAUNCH									
LANDSCAPE DETAILS									
DRAWN BY PB	CHECKED BY PB	DATE 03-18-2022	DRAWING NO. 7R-AK-10035092-33.0						



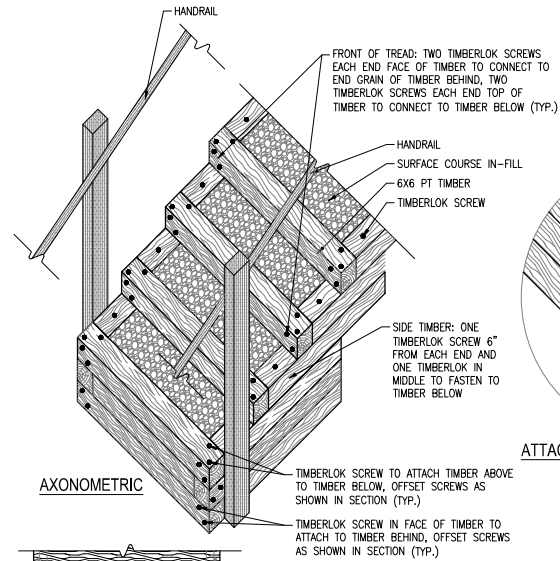
2 HANDRAIL - ELEVATION
1/2" = 1'-0"



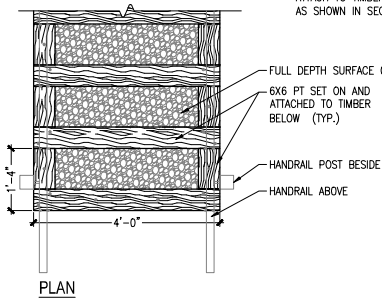
3 HANDRAIL
3/4" = 1'-0"



4 HANDRAIL BRACKET
NTS



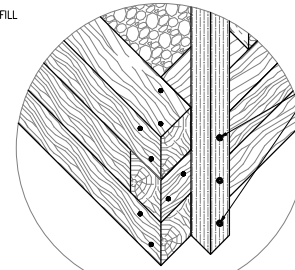
AXONOMETRIC



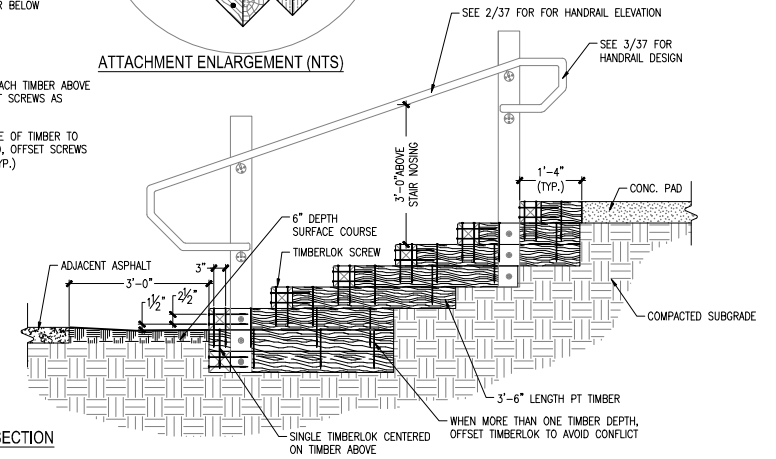
PLAN

1 TIMBER STAIRS
3/4" = 1'-0"

NOTE: ALL TIMBERLOK SCREWS TO BE 5/16" X 10".



ATTACHMENT ENLARGEMENT (NTS)



SECTION



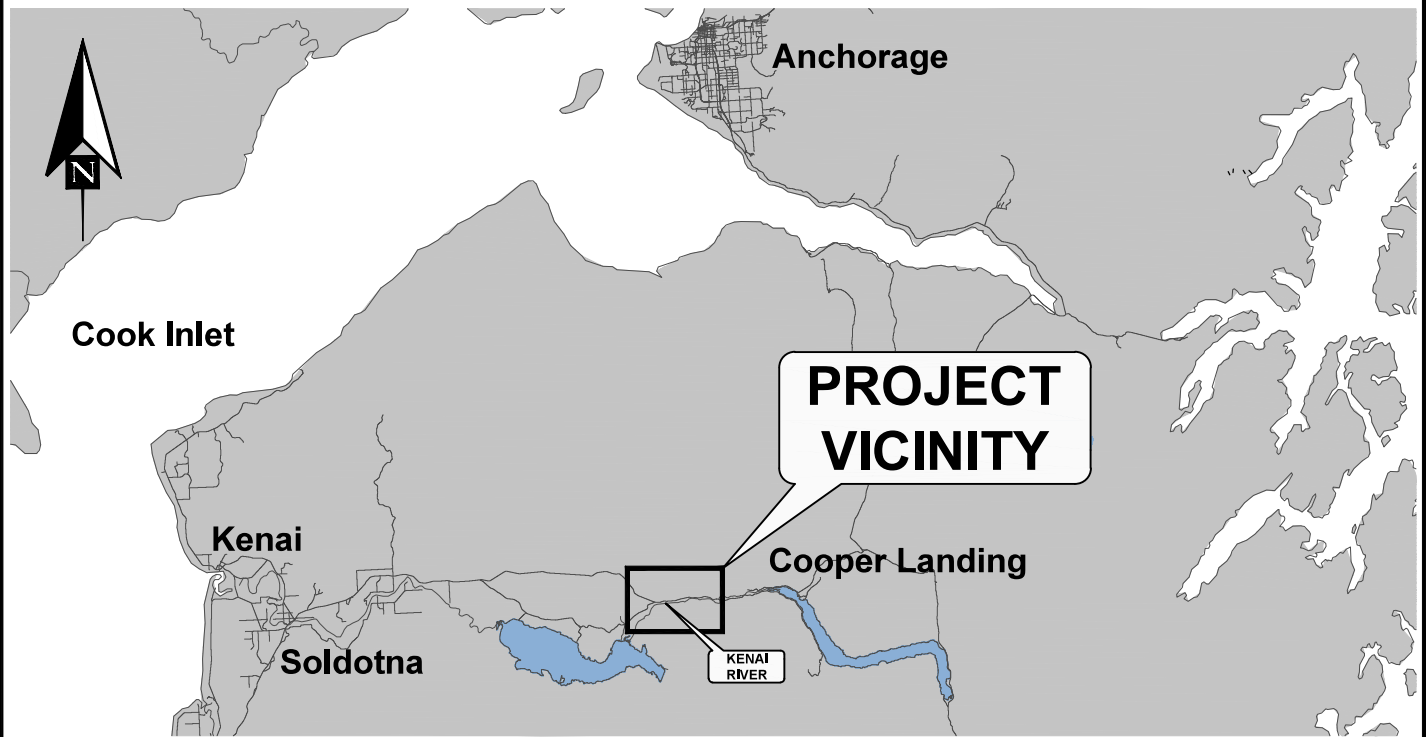
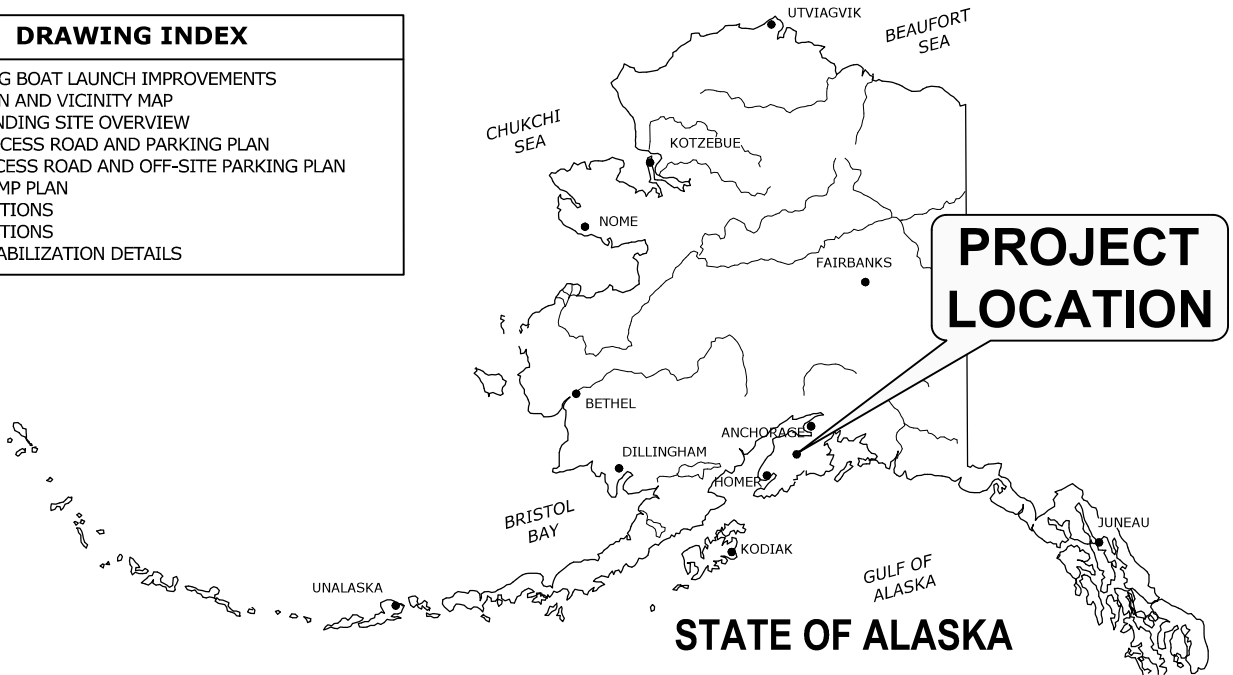
VERIFY SCALE
THIS BAR IS
ONE INCH ON
ORIGINAL DRAWING
0" = 1"
ADJUST SCALES
ACCORDINGLY, IF
NOT ONE INCH
ON THIS SHEET

REV.	DATE	DESCRIPTION	BY
KENAI NATIONAL WILDLIFE REFUGE			
JIMS' LANDING BOAT LAUNCH			
LANDSCAPE DETAILS			
DESIGNED	DRAWN	CHECKED	DATE
PB	BL	PB	03-18-2022
			DRAWING NO.
			7R-AK-10035092-34.0

DRAWING INDEX

JIMS' LANDING BOAT LAUNCH IMPROVEMENTS

1. LOCATION AND VICINITY MAP
2. JIMS' LANDING SITE OVERVIEW
3. WEST ACCESS ROAD AND PARKING PLAN
4. EAST ACCESS ROAD AND OFF-SITE PARKING PLAN
5. BOAT RAMP PLAN
6. SITE SECTIONS
7. SITE SECTIONS
8. BANK STABILIZATION DETAILS



PURPOSE:
IMPROVE ACCESS AND IMPROVE
BOAT LAUNCH AND PARKING
FACILITIES

DATUM:
NAVD88

FILE NO.:
POA-2003-340

APPLICANT:
U.S. FISH AND WILDLIFE
SERVICE

LOCATION:
SECTION 35, T5N, R5W,
SEWARD MERIDIAN

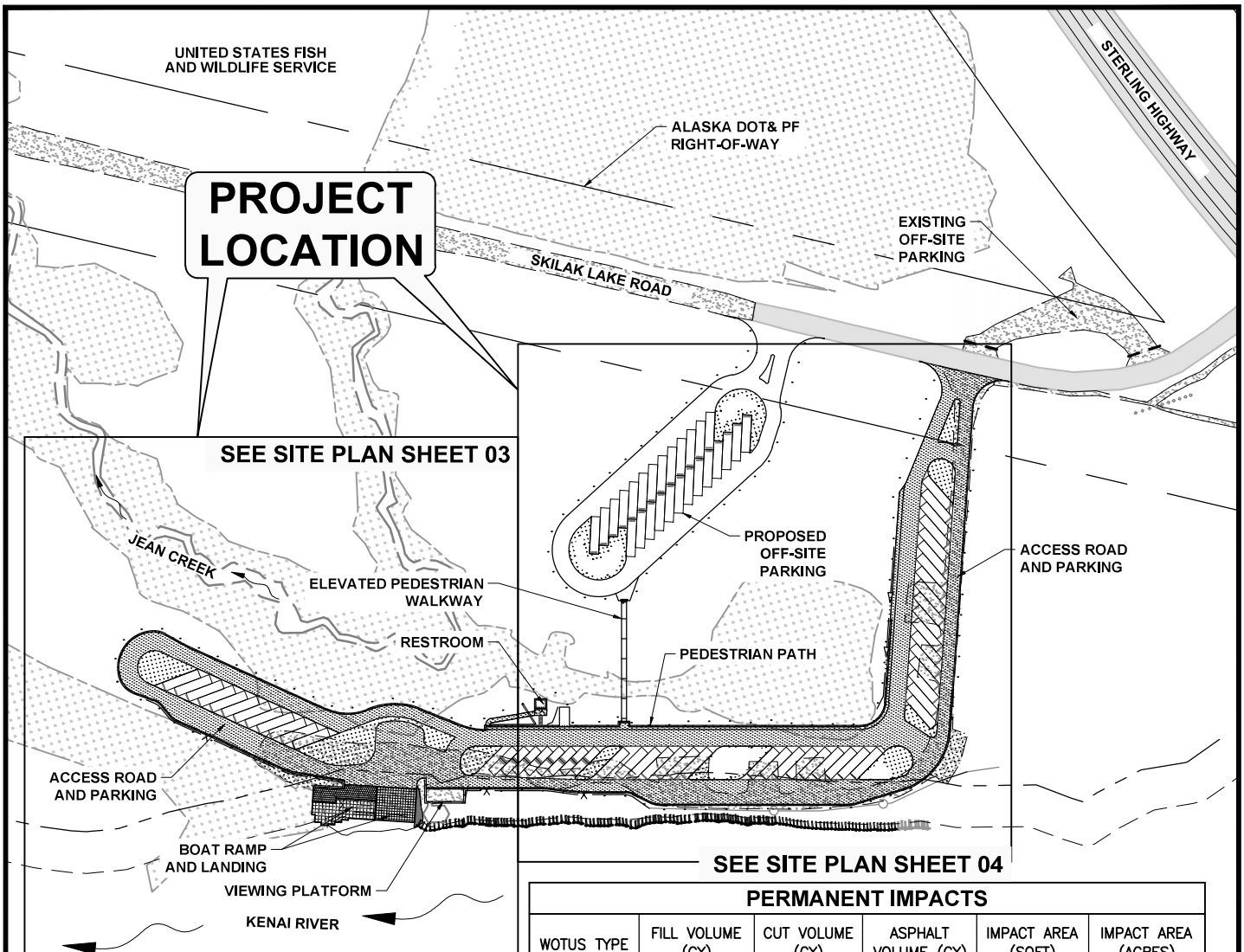
PROPOSED ACTIVITY:
JIMS' LANDING BOAT LAUNCH ACCESS
AND PARKING IMPROVEMENTS

IN:
KENAI NATIONAL WILDLIFE REFUGE
WATERWAY:
KENAI RIVER & ADJACENT WETLANDS

LAT: 60.481844° N
LONG: 150.114697° W

SHEET 1 of 8

3/29/2022



SEE SITE PLAN SHEET 04

PERMANENT IMPACTS

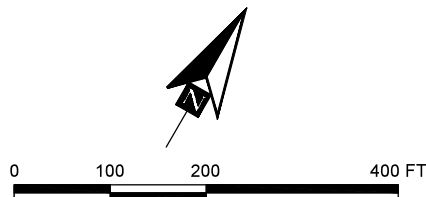
WOTUS TYPE	FILL VOLUME (CY)	CUT VOLUME (CY)	ASPHALT VOLUME (CY)	IMPACT AREA (SQFT)	IMPACT AREA (ACRES)
PSS1	1,130	330	28	9,650	0.22
PEM1/PSS1	25	10	0	525	0.01
R3UB	30	40	0.5	665	0.02
BELOW OHW	1,785	500	0	10,160	0.23
TOTAL:	2,970	880	28.5	21,000	0.48

TEMPORARY IMPACTS

WOTUS TYPE	FILL VOLUME (CY)	CUT VOLUME (CY)	ASPHALT VOLUME (CY)	IMPACT AREA (SQFT)	IMPACT AREA (ACRES)
PSS1	—	—	—	—	—
R3UB	—	15	—	300	0.01
BELOW OHW	—	195	—	4,490	0.10
TOTAL:	—	210	—	4,790	0.11

LEGEND

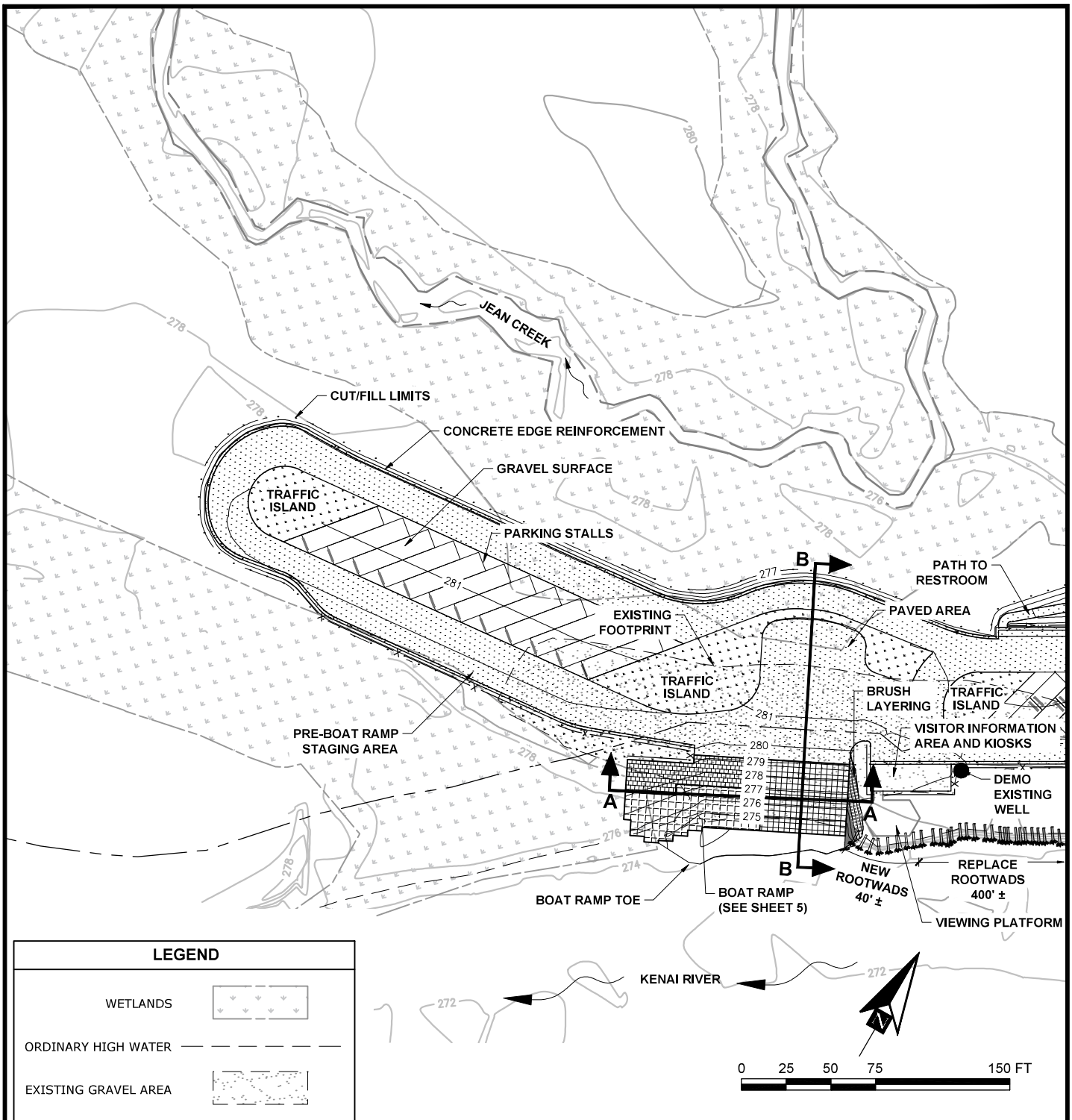
WETLANDS	
ORDINARY HIGH WATER	
EXISTING GRAVEL AREA	
KPB HABITAT PROTECTION DISTRICT	
EXISTING PAVED AREA	
PROPOSED FENCE	
PROPOSED ASPHALT	
TOPSOIL & SEED	



JIMS' LANDING SITE OVERVIEW

REFERENCE: POA-2003-340
 APPLICANT: USFWS
 PROPOSED: JIMS' LANDING BOAT LAUNCH ACCESS AND PARKING IMPROVEMENTS

AT: COOPER LANDING, AK
 SHEET **2** of **8** 3/29/2022

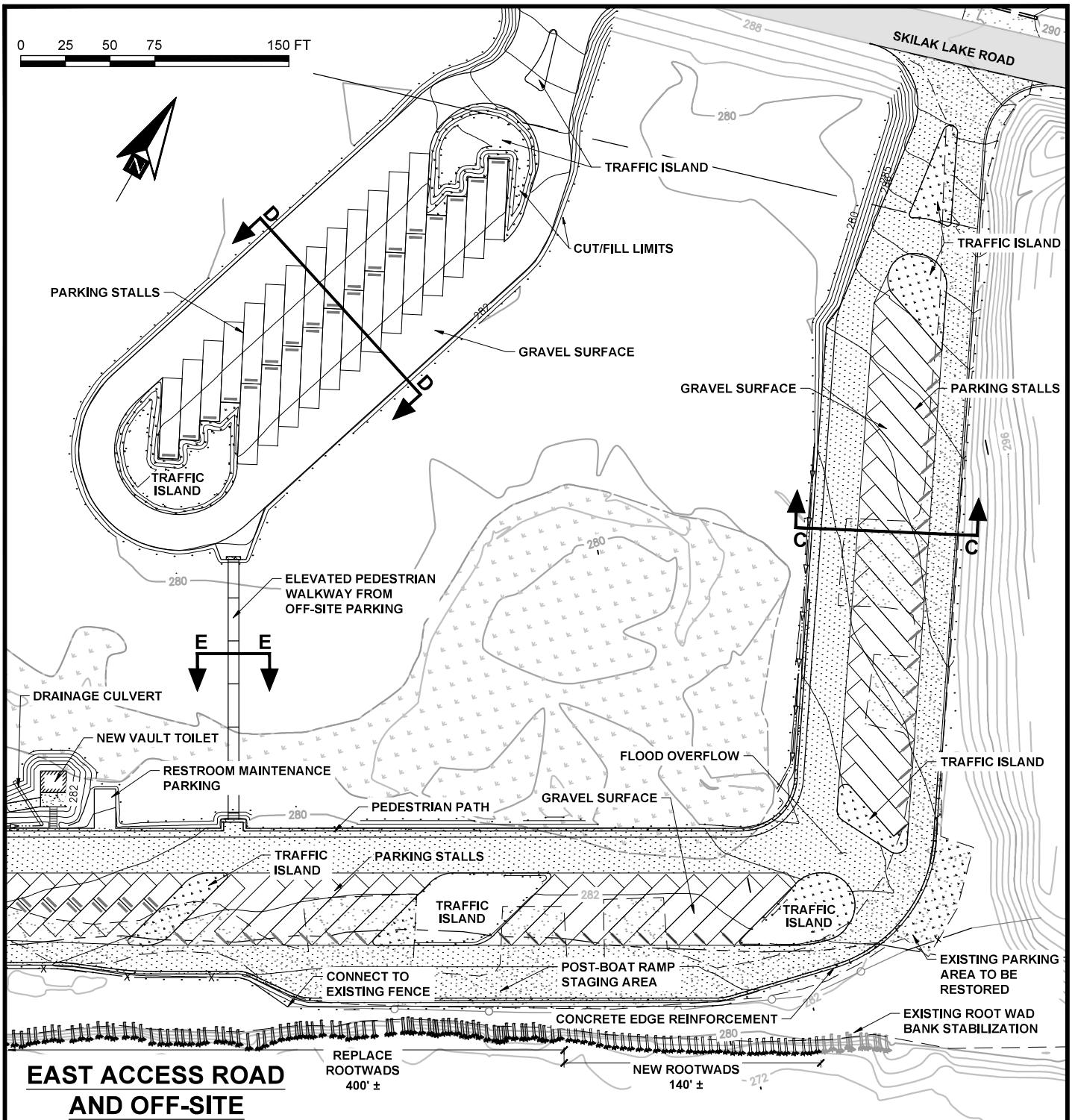


LEGEND	
WETLANDS	
ORDINARY HIGH WATER	
EXISTING GRAVEL AREA	
KPB HABITAT PROTECTION DISTRICT	
EXISTING PAVED AREA	
PROPOSED FENCE	
PROPOSED ASPHALT	
TOPSOIL & SEED	

WEST ACCESS ROAD AND PARKING PLAN

REFERENCE: POA-2003-340
 APPLICANT: USFWS
 PROPOSED: JIMS' LANDING BOAT LAUNCH ACCESS AND PARKING IMPROVEMENTS

AT: COOPER LANDING, AK
 SHEET **3** of **8** 3/29/2022



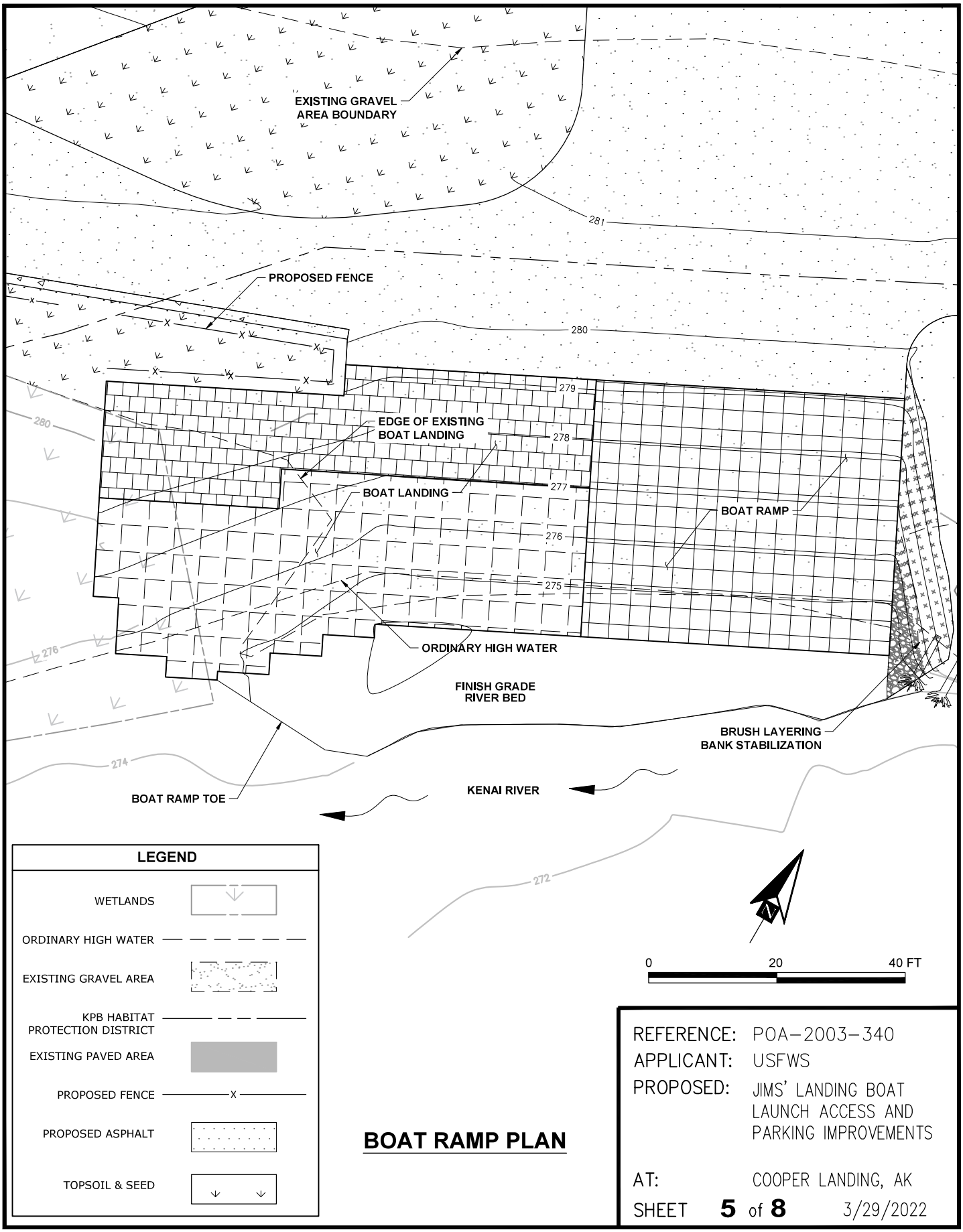
EAST ACCESS ROAD AND OFF-SITE PARKING PLAN

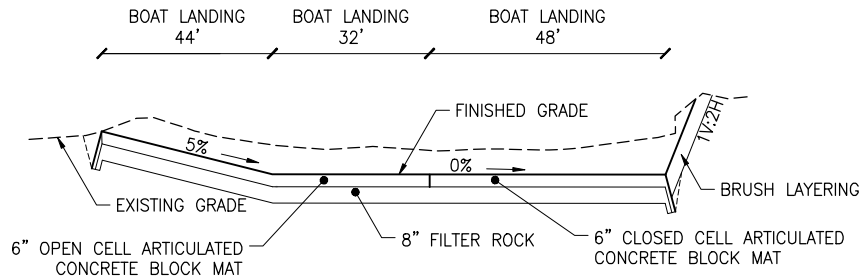
LEGEND

WETLANDS		EXISTING PAVED AREA	
ORDINARY HIGH WATER		PROPOSED FENCE	
EXISTING GRAVEL AREA		PROPOSED ASPHALT	
KPB HABITAT PROTECTION DISTRICT		TOPSOIL & SEED	

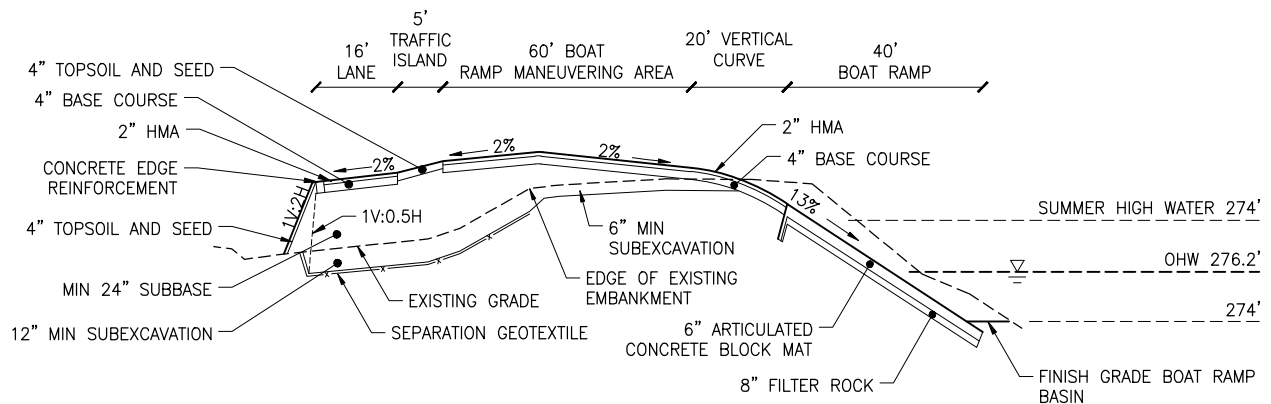
REFERENCE: POA-2003-340
 APPLICANT: USFWS
 PROPOSED: JMS' LANDING BOAT
 LAUNCH ACCESS AND
 PARKING IMPROVEMENTS

AT: COOPER LANDING, AK
 SHEET **4** of **8** 3/29/2022

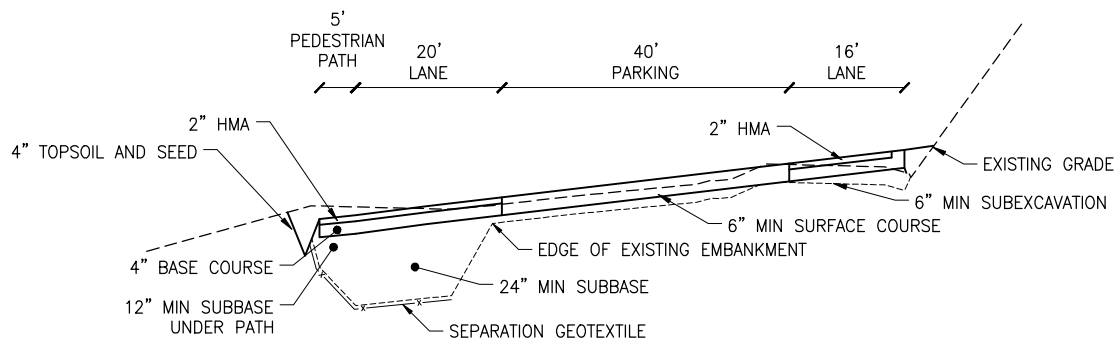




BOAT RAMP SECTION A-A



BOAT RAMP AND SITE SECTION B-B



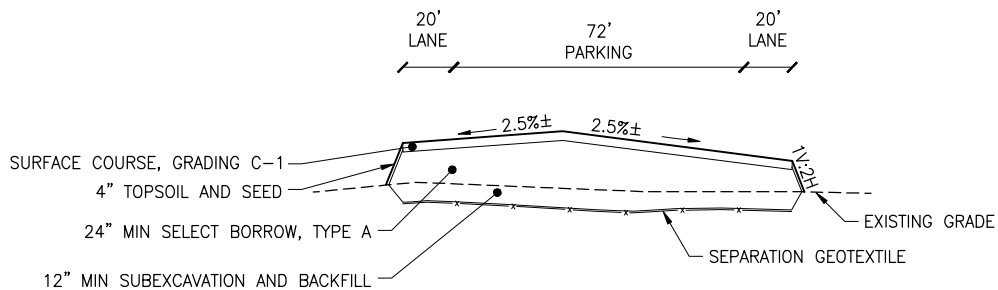
ACCESS ROAD AND PARKING SECTION C-C

SITE SECTIONS

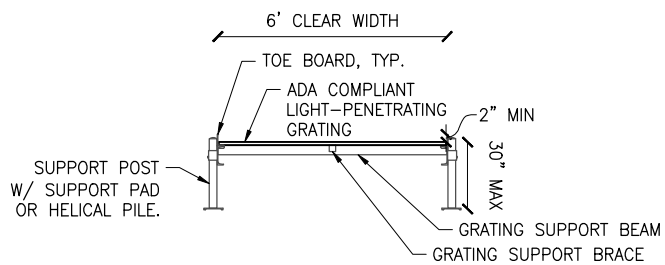
SECTIONS NOT TO SCALE

REFERENCE: POA-2003-340
 APPLICANT: USFWS
 PROPOSED: JIMS' LANDING BOAT
 LAUNCH ACCESS AND
 PARKING IMPROVEMENTS

AT: COOPER LANDING, AK
 SHEET **6** of **8** 3/29/2022



OFF-SITE PARKING SECTION D-D



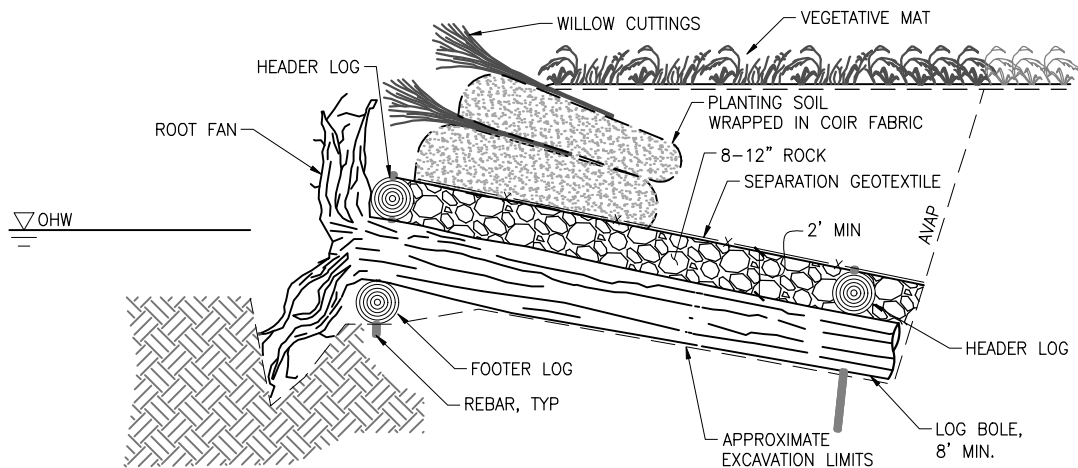
OFF-SITE PARKING ELEVATED PEDESTRIAN WALKWAY SECTION E-E

SITE SECTIONS

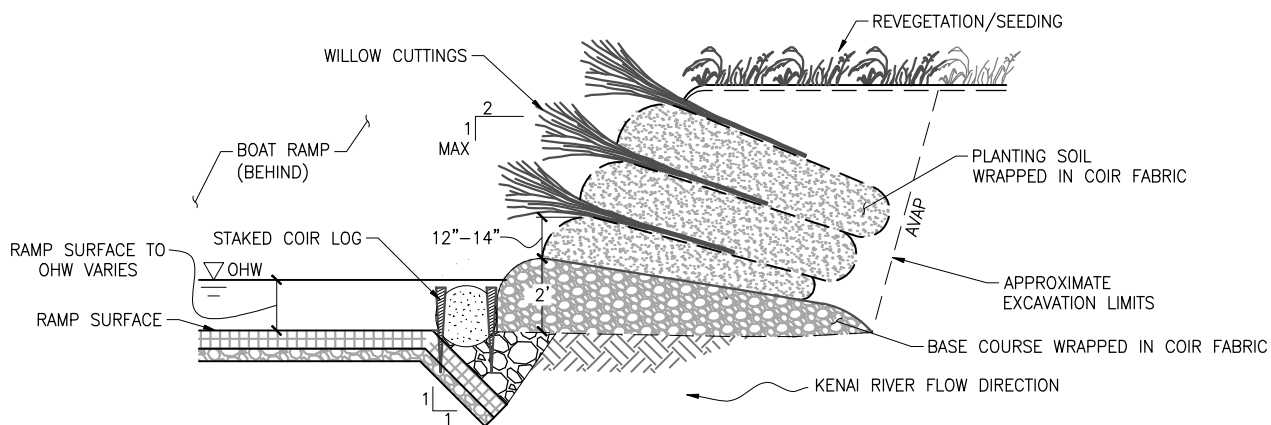
SECTIONS NOT TO SCALE

REFERENCE: POA-2003-340
 APPLICANT: USFWS
 PROPOSED: JIMS' LANDING BOAT
 LAUNCH ACCESS AND
 PARKING IMPROVEMENTS

AT: COOPER LANDING, AK
 SHEET **7** of **8** 3/29/2022



ROOT WAD BANK STABILIZATION



BRUSH LAYERING

BANK STABILIZATION DETAILS

DETAILS NOT TO SCALE

REFERENCE: POA-2003-340
 APPLICANT: USFWS
 PROPOSED: JIMS' LANDING BOAT
 LAUNCH ACCESS AND
 PARKING IMPROVEMENTS

AT: COOPER LANDING, AK
 SHEET **8** of **8** 3/29/2022

**Conditional Use Permit
Anadromous Waters Habitat Protection District
Staff Report**

KPB File No.	2022-15
Planning Commission Meeting:	April 11, 2022
Applicant	USFWS/ KNWR
Mailing Address	PO Box 2139 Soldotna, AK 99669
Legal Description	T 5N R 5W & R6W SEC 1-36 SEWARD MERIDIAN KN ALL SEC 2 THRU 11 & 14 THRU 22 & 27 THRU 34 & PTN SEC 1 12 13 23 26 & 35 IN T5NR5W; SEC 1 THRU 36 IN T5NR6W
Physical Address	None
KPB Parcel Number	02518002

Project Description

A Conditional Use Permit is sought pursuant to KPB 21.18 for the construction of improvements to public use facilities within the 50-foot Habitat Protection District of the Kenai River as established in KPB 21.18.040. The portion of this project that was bank stabilization and restoration was permitted in the spring of 2022 under KPB 21.18.071 Staff Permits.

Background Information

Applicant is proposing to improve the Jims' Landing facility on the Kenai River, located in Cooper Landing. The boat launch and parking facility offers boat launch and retrieval sites on the upper Kenai, between the Russian River and Skilak Lake. This project is designed to address public safety and pedestrian/vehicle access needs of the Jims' Landing facility while also protecting the wetland and riparian habitats.

The project will repair and expand the boat launch to allow for more boats to utilize it at one time, replace and repair up to 75 feet of prior existing wooden fence to protect the habitat restoration, and place boulders along the gravel to keep vehicles off the vegetated area. They will install park benches for seating and will only remove the minimal amount of vegetation needed to accomplish these tasks. While the bank stabilization and restoration portion of this project was done during the summer/fall of 2022 and has already been permitted, the boat launch expansion and following repairs are slated to begin in the spring of 2023.

Other local, state, and federal permits appear to have been obtained and are attached. Note that this is outside the FEMA regulatory floodplain mapping, and no KPB Floodplain Development permit is required.

Project Details within the 50-foot Habitat Protection District

1. Repair and expansion of a public boat launch which measures 110 feet by 50 feet.
2. Installation of a 75 foot long wooden fence.

3. Installation of 17 boulders.
4. Installation of two (2) park benches.
5. Minimal removal of vegetated materials.

Findings of fact pursuant to KPB 21.18.081 Conditional Use Permit

1. Portions of this proposed project are within the 50-foot habitat protection district as defined by KPB 21.18.040.
2. Pursuant to KPB 21.18.081(B)(4) construction of public owned facilities, parks, campgrounds, and their related uses and structures may be approved as a conditional structure/use within the habitat protection district.
3. Pursuant to KPB 21.18.081(B)(2), fences may be permitted within the habitat protection district under a conditional use permit.
4. Pursuant to 21.18.081(D) General Standards, staff finds that the proposed project meets the five general standards.
5. Pursuant to KPB 21.18.020(A), this chapter was established to protect and preserve the stability of anadromous fish through controlling shoreline alterations and disturbances along anadromous waters and to preserve nearshore habitat.
6. Pursuant to KPB 21.18.20(B)(5), one purpose of this chapter was established to separate conflicting land uses.
7. Pursuant to KPB 21.06.050, wide spaced timber fencing allows for the unobstructed passage of water.
8. Pursuant to KPB 21.06.081(D)(3), the proposed work will occur on the applicant's property and shall not have an adverse effect on adjoining properties.
9. Kenai Peninsula Borough Planning Commission Resolution 2015-35 defines water-dependent as:
"...a use or structure located on, in or adjacent to water areas because the use requires access to the waterbody. The definition is applicable to facilities or activities that must be located at or near the shoreline and within the 50-foot buffer. An activity is considered water dependent if it is dependent on the water as part of the intrinsic nature of its operation. Examples of water dependent facilities may include, but are not limited to, piers, boat ramps, and elevated walkways."
10. The River Center found the application complete and scheduled a public hearing for September 12, 2022.
11. Agency review was distributed on August 26, 2022. No comments or objections have been received from resource agencies to date.
12. Pursuant to KPB 21.11.030, public notice was mailed to all property owners within a radius of 300 feet of the project on August 26, 2022. A total of 1 mailing was sent.
13. Pursuant to KPB 21.11.020, public notice was published in the Peninsula Clarion on September 1, 2022 and September 8, 2022.
14. The applicant is currently in compliance with Borough permits and ordinances.

Permit Conditions

1. Construction techniques and best management practices shall be utilized to ensure that land disturbing activities do not result in runoff or sedimentation to the Kenai River.
2. The boat launch, fence and bank stabilization must be designed and installed to meet KPB floodplain requirements.
3. The permittee shall minimize damage to all vegetation and shall revegetate all disturbed areas with native vegetation.
4. For each tree removed, two seedlings less than 5.5-feet tall of a species native to the region will be planted within the 50-foot HPD.

5. Storage or use of fuel is prohibited within 50-feet of any open water.
6. The River Center shall be notified at least 3 days prior to the start of the project.
7. If changes to the approved project described above are proposed prior to or during its siting, construction, or operation, the permittee is required to notify the River Center to determine if additional approval is required.
8. The permittee shall be held responsible for the actions of the contractors, agents, or others who perform work to accomplish the approved plan.
9. The construction or installation phase of this Conditional Use Permit must be completed within one calendar year from the date of the permit's issuance, or the Conditional Use Permit shall expire unless the Planning Commission finds that more time is necessary to effectuate the purposes of this chapter, in which case the commission may extend the deadline for a maximum of six years from the date of issuance. Prior to its expiration date and upon written request, the Planning Director may grant a Conditional Use Permit extension for 12 months (KPB 21.18.081 (H)).
10. In addition to the penalties provided by KPB 21.18.110, and pursuant to KPB 21.50, the permit may be revoked if the permittee fails to comply with the provisions of this chapter or the terms and conditions of a permit issued under this chapter. The Borough Clerk shall provide at least 15 day's written notice to the permittee of a revocation hearing before the hearing officer (KPB 21.18.082).
11. The permittee shall comply with the terms, conditions and requirements of the Kenai Peninsula Borough Code of Ordinances Chapter 21.18, and any regulations adopted pursuant to this chapter.
12. The permittee is responsible for abiding by all other federal, state, and local laws, regulations, and permitting requirements applicable to the project (KPB 21.18.081 (G)).

General Standards

Pursuant to 21.18.081(D) General Standards, the following standards shall be met before conditional use approval may be granted:

1. The use or structure will not cause significant erosion, sedimentation, damage within the habitat protection district, an increase in ground or surface water pollution, and damage to riparian wetlands and riparian ecosystems; **Conditions 1-5 appear to support this standard.**
2. Granting of the conditional use shall be consistent with the purposes of this chapter, the borough comprehensive plan, other applicable chapters of the borough Code, and other applicable planning documents adopted by the borough; **Findings 3-5 and Conditions 11-12 appear to support this standard.**
3. The development of the use or structure shall not physically damage the adjoining property; **Findings 5, 8 and Condition 1 appear to support this standard.**
4. The proposed use or structure is water-dependent; **Finding 9 appears to support this standard.**
5. Applicant's or owner's compliance with other borough permits and ordinance requirements; **Finding 14 and Conditions 11, 12 appear to support this standard.**

Attachments

Multi-Agency Application
KPB Staff Permit
USACE POA 2003-00340
ADFG Habitat Permits
ADNR Division Parks and Outdoor Recreation Permit
Draft Resolution 2022-15

Recommendation

Based on the findings, staff finds that the proposed project meets the five general standards of KPB 21.18.081. The Planning Commission could consider additional permit conditions to mitigate for any habitat loss if it chooses.

Staff recommends the Planning Commission grant a Conditional Use Permit for the proposed project details subject to adopted conditions as set forth in 2022-15

Note: An appeal of a decision of the Planning Commission may be filed to the Hearing Officer, in accordance with the requirements of the Kenai Peninsula Borough Code of Ordinances, Chapter 21.20.250. An appeal must be filed with the Borough Clerk within 15 days of date of the notice of the decision using the proper forms and be accompanied by the filing and records preparation fee.

END OF STAFF REPORT



Donald E. Gilman River Center

514 Funny River Road, Soldotna, Alaska 99669 • (907) 714-2460 • (907) 260-5992

Fax



A Division of the Planning Department

Charlie Pierce
Borough Mayor

KENAI PENINSULA BOROUGH – HABITAT PROTECTION DISTRICT PERMIT

4/5/2022

RC Number: 12884

Issued: 4/5/2022

Expires: Lifetime of Structure

USFWS KNWR- Jim's Landing c/o Andy Loranger
PO Box 2139
Soldotna, AK 99669

Dear Applicant,

Pursuant to KP.B 21.18, the Kenai Peninsula Borough (KPB) River Center has reviewed and approved your permit application. The project must be completed as described in the submitted application and subject to the terms and conditions stated below.

The location of the work is as follows:

Parcel ID: 02518002
Legal Desc: T 5N R 5W & R6W SEC 1-36 SEWARD MERIDIAN KN ALL SEC 2 THRU 11
& 14 THRU 22 & 27 THRU 34 & PTN SEC 1 12 13 23 26 & 35 IN
T5NR5W; SEC 1 THRU 36 IN T5NR6W
Waterbody: Kenai River

Applicant's Project Description

Applicant proposes to install approximately 580 feet of root wads placed parallel to the Kenai River. Approximately 875 cubic yards of 8-12 inch angular rock will be used behind and within the fans. Brush layering (soil wraps including top soil and willow stakes) will be placed on top of the root wads, and topped with vegetative mat. Approximately 375 cubic yards of topsoil will be used in the brush layering, and approximately 8,000 square feet of vegetated mat placed above the reconstructed bank.

The area directly adjacent to the ramp will not use vegetative mat, but instead will be seeded (4 inches of topsoil and hydroseeded) to avoid reintroduction of invasive plants in the area. In order to accomplish this work, approx. 88 trees will have to be removed within the 50 foot HPD, some of which are beetle killed dead spruce.

Permitted Activity within the Habitat Protection District

This project is within the 50-foot Habitat Protection District and is allowable under KPB 21.18. In accordance with KPB 21.18, the following minimum requirements must be followed:

1. Trees or other vegetation used in restoration work shall not be obtained within 50-feet of borough regulated anadromous water bodies.
2. A maintenance permit will be required for all work on elevated, light penetrating (ELP) structures.
3. The permit is only valid for the property owner above. Should the property change ownership, a new Multi-Agency application would be required prior to the start of any work on the parcel.
4. If the property owner is requesting to perform work other than what is listed above, a new Multi-Agency application would be required prior to the start of any work on the parcel.

Conditions of the Permit

If changes to the approved project described above are proposed prior to or during its siting, construction, or operation, the permittee is required to notify the Kenai Peninsula Borough at the River Center to determine if additional approval will be required.

The project manager and/or lead contractor shall notify the Kenai Peninsula Borough at the River Center at least three (3) business days prior to construction, and must have a copy of the Kenai Peninsula Borough's permit on-site.

The permittee shall minimize damage to all vegetation and shall revegetate any disturbed areas, from ordinary high water landward to 50 feet, resulting from the construction project.

Revegetation shall be accomplished according to approved River Center methods. Construction techniques and best management practices shall be utilized to ensure that runoff is detained, diverted or filtered prior to reaching a waterbody.

Heavy equipment used in this project within the Habitat Protection District shall operate from the existing roadway or on construction mats.

Rock fill and debris removed during the course of the project shall be stored/stockpiled on the existing roadway, removed from the project area, or in an area outside of the 50-foot Habitat Protection District.

For the purpose of inspecting or monitoring compliance with any condition of this permit, you shall give authorized representatives of the Kenai Peninsula Borough free and unobstructed access, at safe and reasonable times, to the project site. You shall furnish whatever assistance and information as the authorized representative reasonably requires for monitoring and inspection purposes.

The permittee is responsible for the actions of the contractors, agents, or other persons who perform work to accomplish the approved activity. For any activity that deviates from the approved plan, the permittee shall notify the Kenai River Center and obtain written approval before beginning the activity.

The permittee is solely responsible for obtaining all necessary local, state, and federal permits before beginning work. Issuance of this specific permit does not constitute final approval.

In addition, the following conditions are necessary to ensure project consistency with the Kenai Coastal Management Program:

- **2.2. Erosion.** Developers shall retain existing vegetative cover in designated erosion-prone areas to the greatest extent practicable. In cases where development or other activities lead to removal of vegetation, erosion shall be prevented or, if it occurs, shall be remedied through revegetation (with native species if available) or by other suitable measures.

If you have any questions regarding this permit, you can contact me at 907-714-2465.

Sincerely,

A handwritten signature in dark ink that reads "Morgan M. Aldridge". The signature is written in a cursive, flowing style.

Morgan Aldridge

Planner

Donald E. Gilman River Center



DEPARTMENT OF THE ARMY
ALASKA DISTRICT, U.S. ARMY CORPS OF ENGINEERS
REGULATORY DIVISION
44669 STERLING HIGHWAY, SUITE B
SOLDOTNA, AK 99669

July 8, 2022

Regulatory Division
POA-2003-00340

Andy Loranger
US Fish and Wildlife Service
P.O. Box 2139
Soldotna, Alaska 99669

Dear Mr. Loranger:

This is in response to your May 5, 2022, application for a Department of the Army (DA) permit to discharge 2,967 cubic yards of various types of fills into 0.81 acres below the mean high water mark of the Kenai River (a navigable water of the U.S.) and adjacent wetlands, for the purpose of improving the Jim's Landing recreation site. There will be a permanent loss of 0.47 acres of waters of the U.S., and 0.34 acres will be temporarily impacted and returned to pre-construction condition. See sheet 10 of 10 for a breakdown of impacts. It has been assigned file number POA-2003-00340 Kenai River, which should be referred to in all future correspondence with this office. The project site is located within Section 35, T 5N, R 5W, 60.4878N; 150.1147W, at Jim's Landing Boat Launch, near Cooper Landing, Alaska.

Based on our review of the information you furnished and available to us, we have preliminarily determined the above project area contains waters of the United States (U.S.), including wetlands, under the Corps of Engineers (Corps) regulatory jurisdiction. See the attached Preliminary Jurisdictional Determination (PJD) Form. Please sign and return the form to our office. A PJD is not appealable. At any time, you have the right to request and obtain an Approved Jurisdictional Determination (AJD), which can be appealed. If it is your intent to request an AJD, do not begin work until one is obtained.

DA authorization is necessary because your project will involve work in and placement of fill material into waters of the U.S. under our regulatory jurisdiction.

Based upon the information and plans you provided, we hereby verify that the work described above, which will be performed in accordance with the enclosed plan (sheets 1-10), dated April 25, 2022, is authorized by Nationwide Permit (NWP) No. 42, Recreational Facilities. Enclosed is a copy of the NWP No. 42, as well as the Regional and General Conditions. These documents are also available on our website at: www.poa.usace.army.mil/Missions/Regulatory/Permits/Nationwide-Permits/. Regional Conditions D, E, and F apply to your project. You must comply with all terms and conditions associated with NWP No. 42.

Further, please note General Condition 30 requires that you submit a signed certification to us once any work and required mitigation are completed. Enclosed is the form for you to complete and return to our office.

Unless this NWP is modified or revoked, it expires on March 14, 2026. If you commence or are under contract to commence this activity before the date that the NWPs are modified or revoked, you will have twelve (12) months from the date of the modification or revocation of the NWPs to complete the activity under the present terms and conditions of these nationwide permits. It is incumbent upon you to remain informed of the changes to the NWPs. Nothing in this letter excuses you from compliance with other Federal, State, or local statutes, ordinances, or regulations.

Please contact me via email at Andrew.a.gray@usace.army.mil, by mail at the address above, by phone at (907) 753-2722, if you have questions. For more information about the Regulatory Program, please visit our website at www.poa.usace.army.mil/Missions/Regulatory.

Sincerely,

A handwritten signature in black ink, appearing to read "Andrew Gray", with a stylized flourish at the end.

Andrew Gray
Regulatory Specialist

Enclosures

ENCLOSURE



**US Army Corps of Engineers
Alaska District**

Permit Number: POA-2003-00340

Name of Permittee: USFWS

Date of Issuance: July 8, 2022

Upon completion of the activity authorized by this permit and any mitigation required by the permit, sign this certification and return it to Mr. Andrew Gray at Andrew.a.gray@usace.army.mil, or the following address:

U.S. Army Corps of Engineers
Alaska District
Regulatory Division
44669 Sterling Highway, Suite B
Soldotna, Alaska 99669-7915

Please note that your permitted activity is subject to a compliance inspection by an U.S. Army Corps of Engineers representative. If you fail to comply with this permit you are subject to permit suspension, modification, or revocation.

I hereby certify that the work authorized by the above-referenced permit has been completed in accordance with the terms and conditions of the said permit, and required mitigation was completed in accordance with the permit conditions.

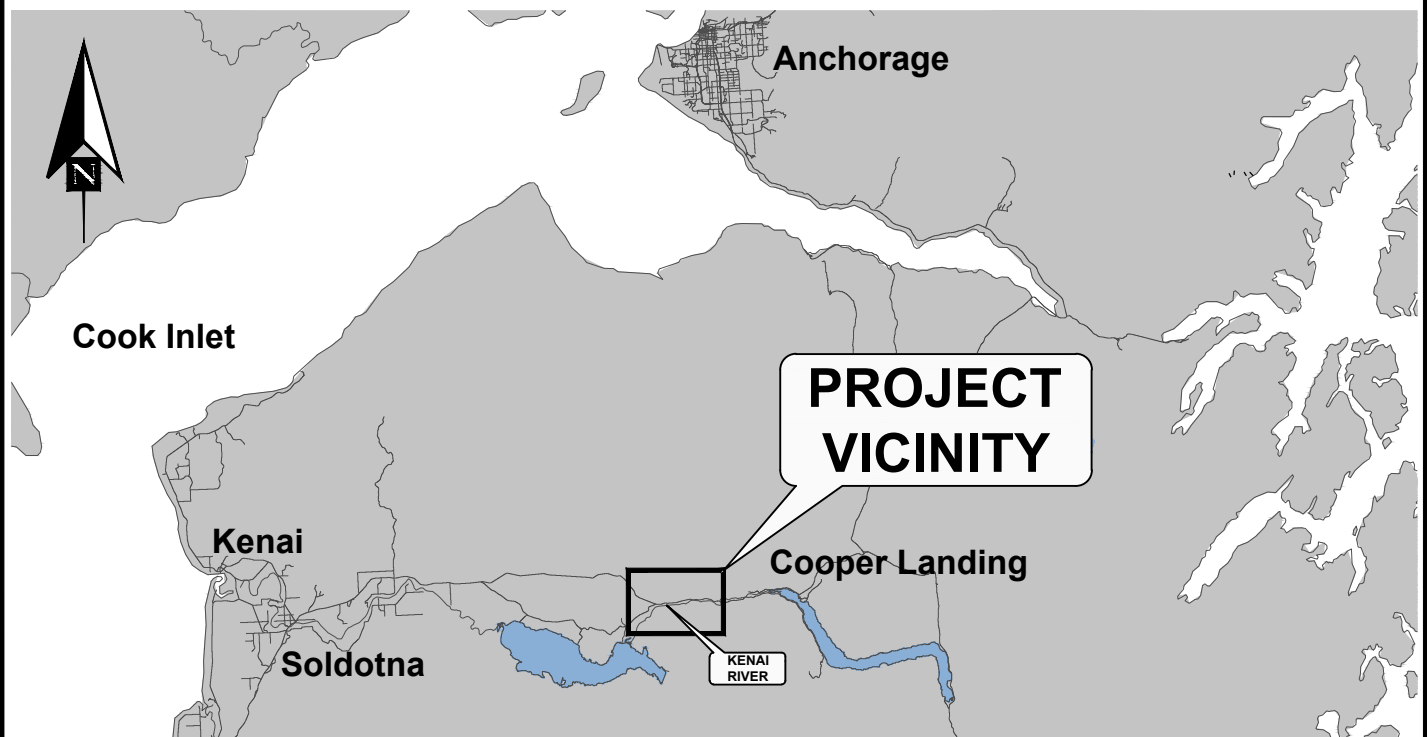
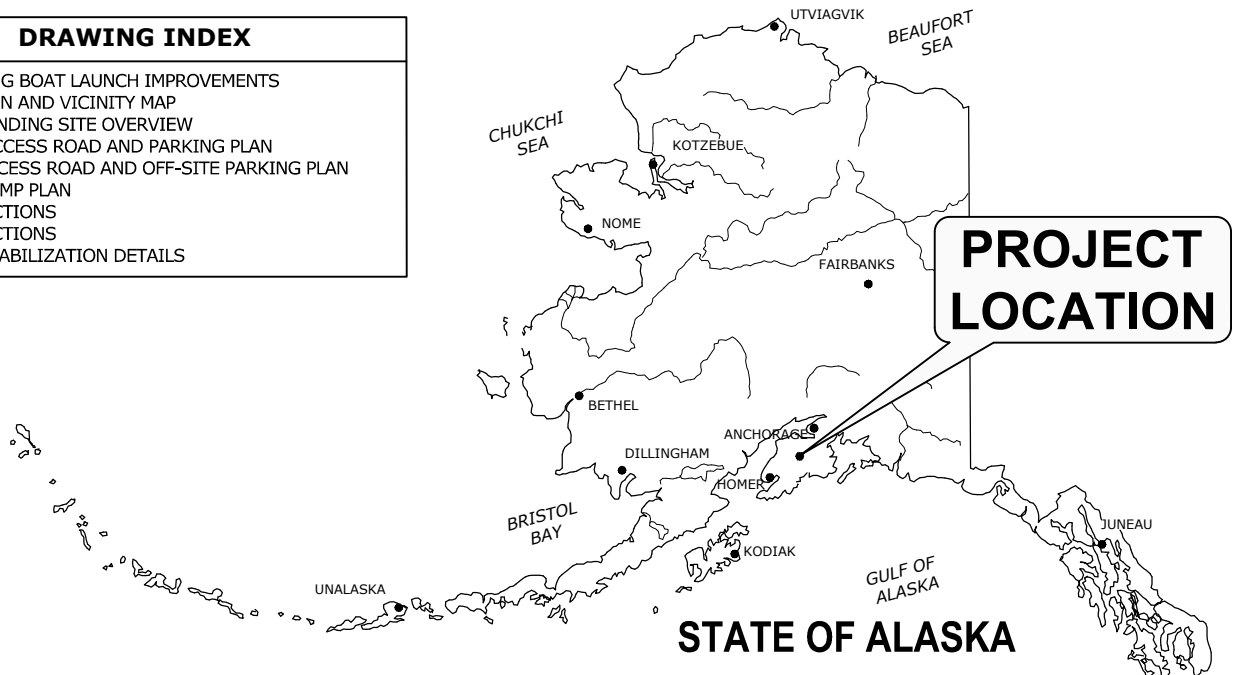
Signature of Permittee

Date

DRAWING INDEX

JIMS' LANDING BOAT LAUNCH IMPROVEMENTS

1. LOCATION AND VICINITY MAP
2. JIMS' LANDING SITE OVERVIEW
3. WEST ACCESS ROAD AND PARKING PLAN
4. EAST ACCESS ROAD AND OFF-SITE PARKING PLAN
5. BOAT RAMP PLAN
6. SITE SECTIONS
7. SITE SECTIONS
8. BANK STABILIZATION DETAILS



PURPOSE:
IMPROVE ACCESS AND IMPROVE
BOAT LAUNCH AND PARKING
FACILITIES

DATUM:
NAVD88

FILE NO.:
POA-2003-340

APPLICANT:
U.S. FISH AND WILDLIFE
SERVICE

LOCATION:
SECTION 35, T5N, R5W,
SEWARD MERIDIAN

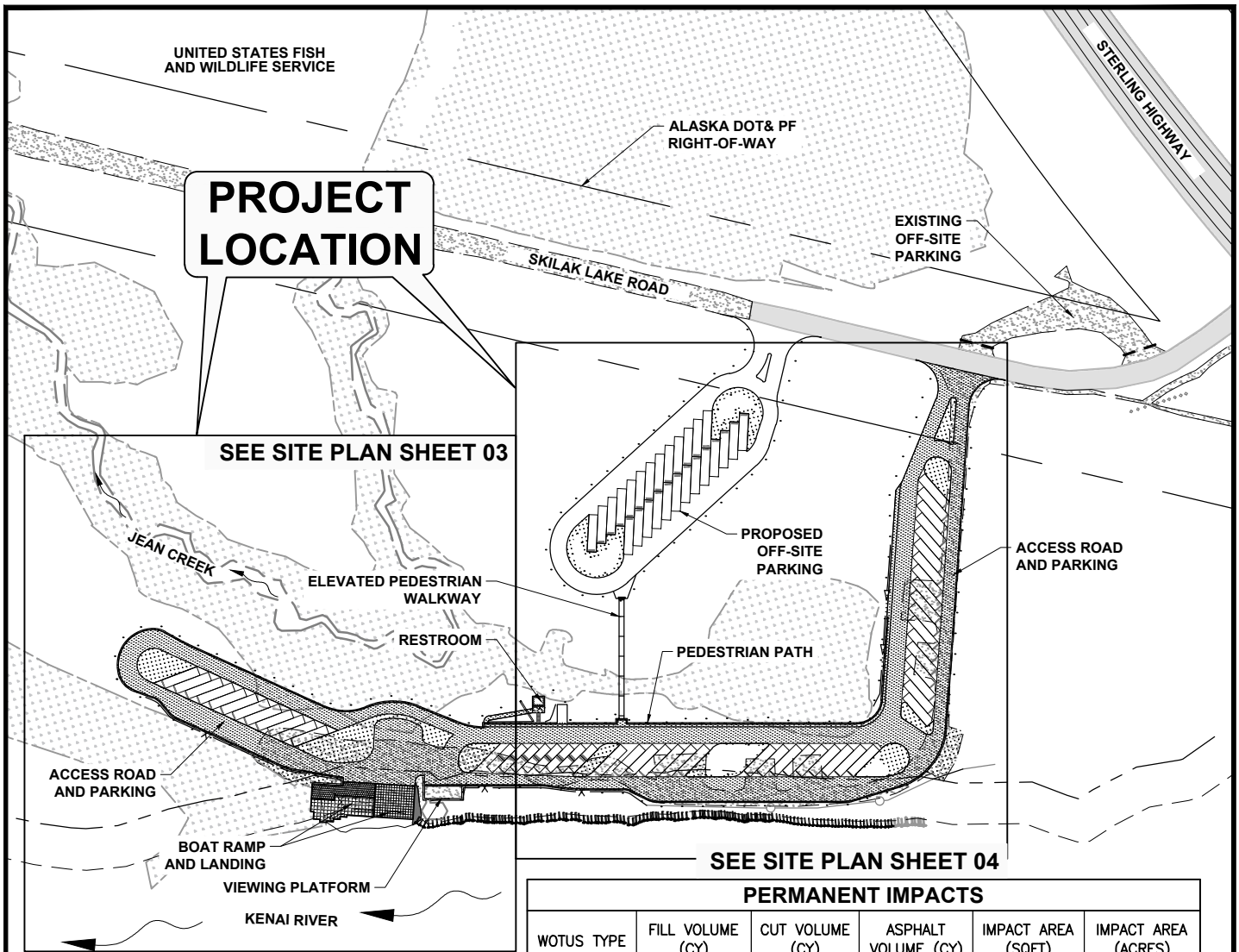
PROPOSED ACTIVITY:
JIMS' LANDING BOAT LAUNCH ACCESS
AND PARKING IMPROVEMENTS

IN:
KENAI NATIONAL WILDLIFE REFUGE
WATERWAY:
KENAI RIVER & ADJACENT WETLANDS

LAT: 60.481844° N
LONG: 150.114697° W

SHEET 1 of 8

3/29/2022



SEE SITE PLAN SHEET 04

PERMANENT IMPACTS

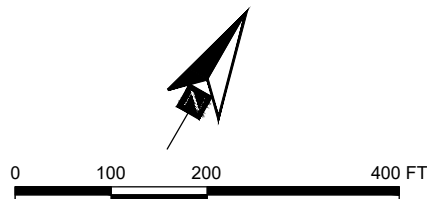
WOTUS TYPE	FILL VOLUME (CY)	CUT VOLUME (CY)	ASPHALT VOLUME (CY)	IMPACT AREA (SQFT)	IMPACT AREA (ACRES)
PSS1	1,130	330	28	9,650	0.22
PEM1/PSS1	25	10	0	525	0.01
R3UB	30	40	0.5	665	0.02
BELOW OHW	1,785	500	0	10,160	0.23
TOTAL:	2,970	880	28.5	21,000	0.48

TEMPORARY IMPACTS

WOTUS TYPE	FILL VOLUME (CY)	CUT VOLUME (CY)	ASPHALT VOLUME (CY)	IMPACT AREA (SQFT)	IMPACT AREA (ACRES)
PSS1	—	—	—	—	—
R3UB	—	15	—	300	0.01
BELOW OHW	—	195	—	4,490	0.10
TOTAL:	—	210	—	4,790	0.11

LEGEND

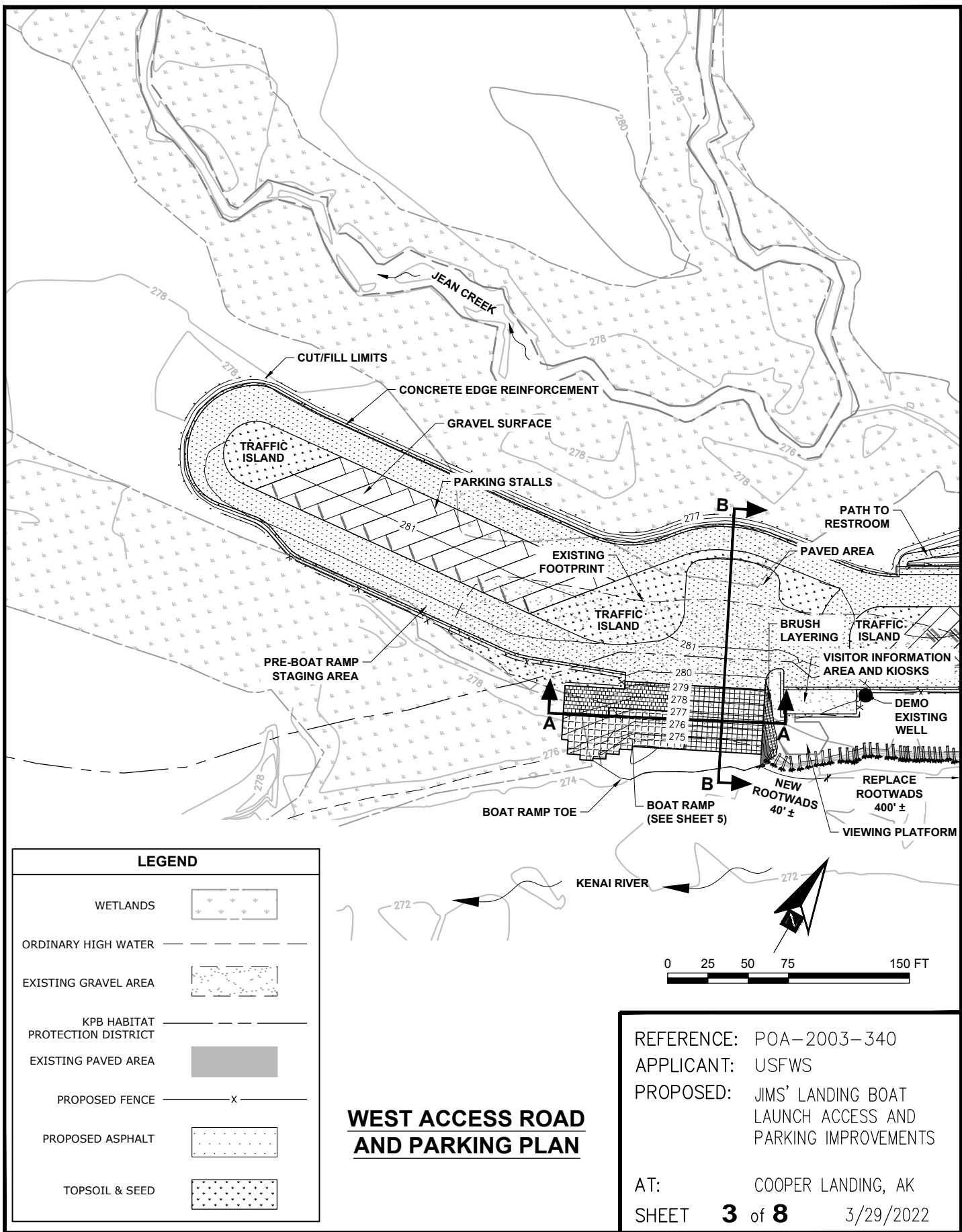
WETLANDS	
ORDINARY HIGH WATER	
EXISTING GRAVEL AREA	
KPB HABITAT PROTECTION DISTRICT	
EXISTING PAVED AREA	
PROPOSED FENCE	
PROPOSED ASPHALT	
TOPSOIL & SEED	

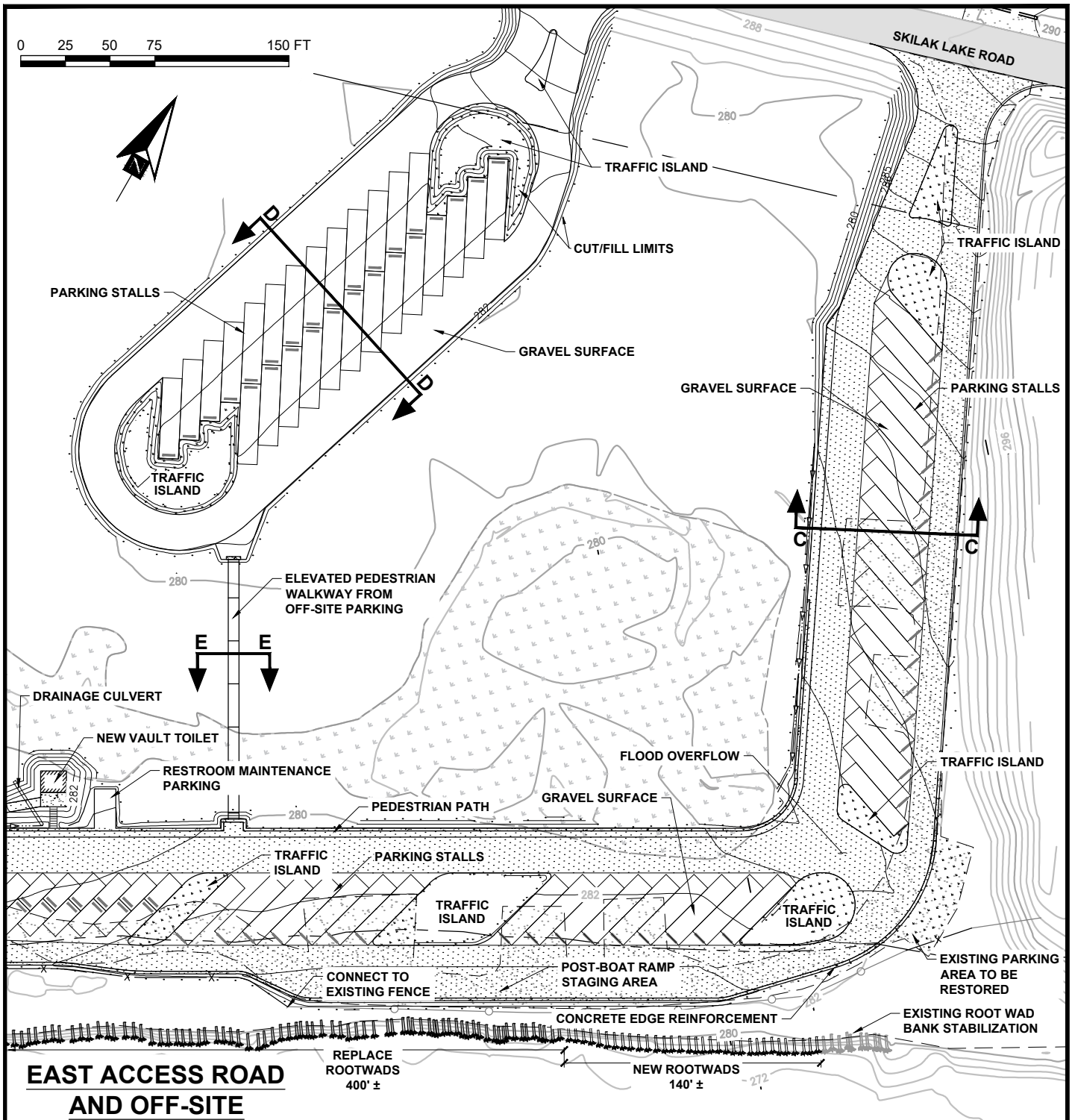


JIMS' LANDING SITE OVERVIEW

REFERENCE: POA-2003-340
 APPLICANT: USFWS
 PROPOSED: JIMS' LANDING BOAT LAUNCH ACCESS AND PARKING IMPROVEMENTS

AT: COOPER LANDING, AK
 SHEET **2** of **8** 3/29/2022



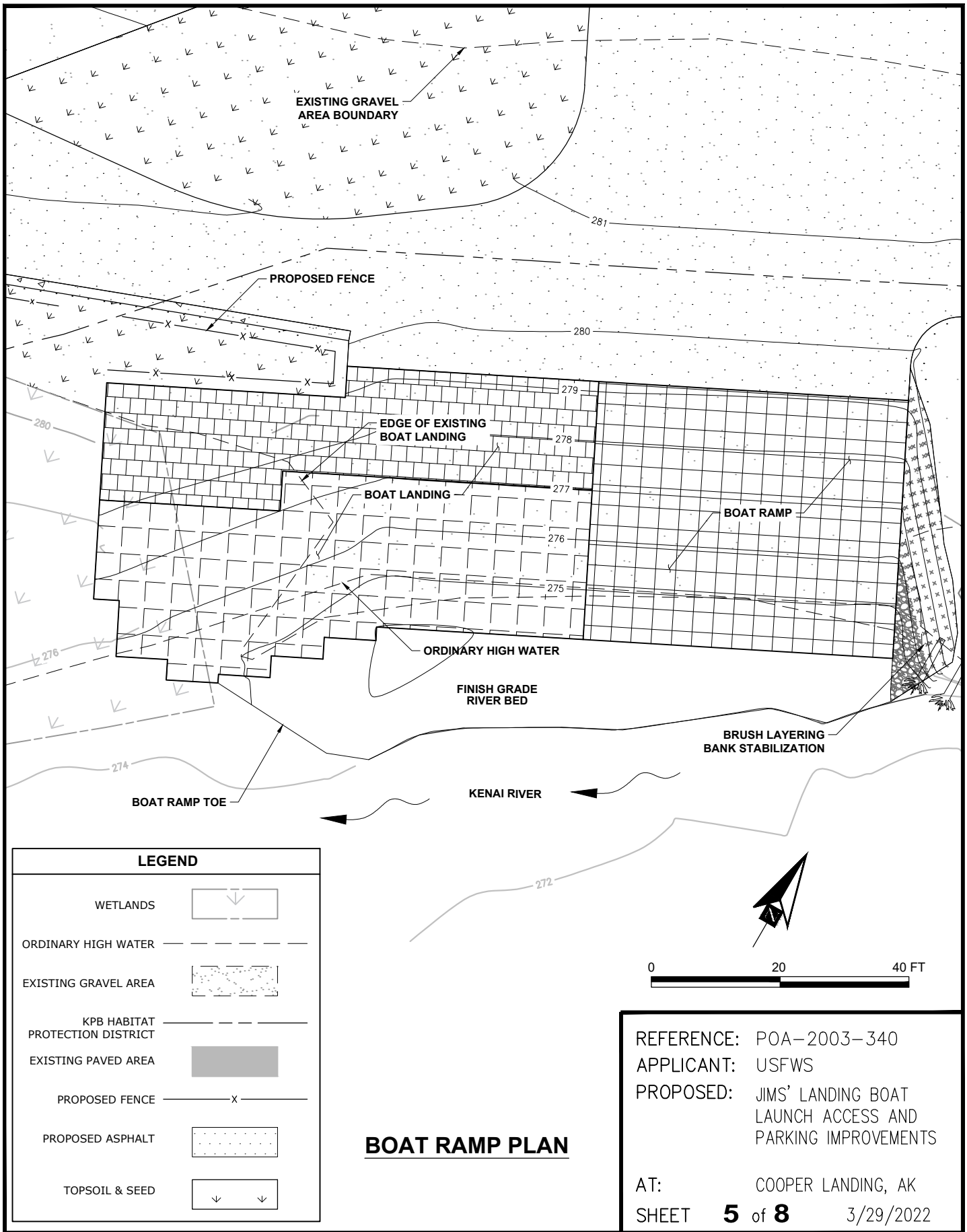


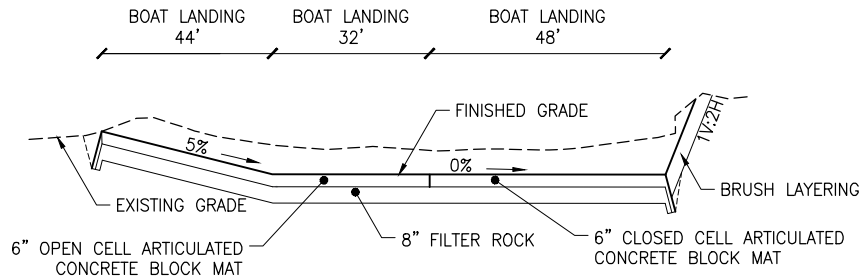
EAST ACCESS ROAD AND OFF-SITE PARKING PLAN

LEGEND			
WETLANDS		EXISTING PAVED AREA	
ORDINARY HIGH WATER		PROPOSED FENCE	
EXISTING GRAVEL AREA		PROPOSED ASPHALT	
KPB HABITAT PROTECTION DISTRICT		TOPSOIL & SEED	

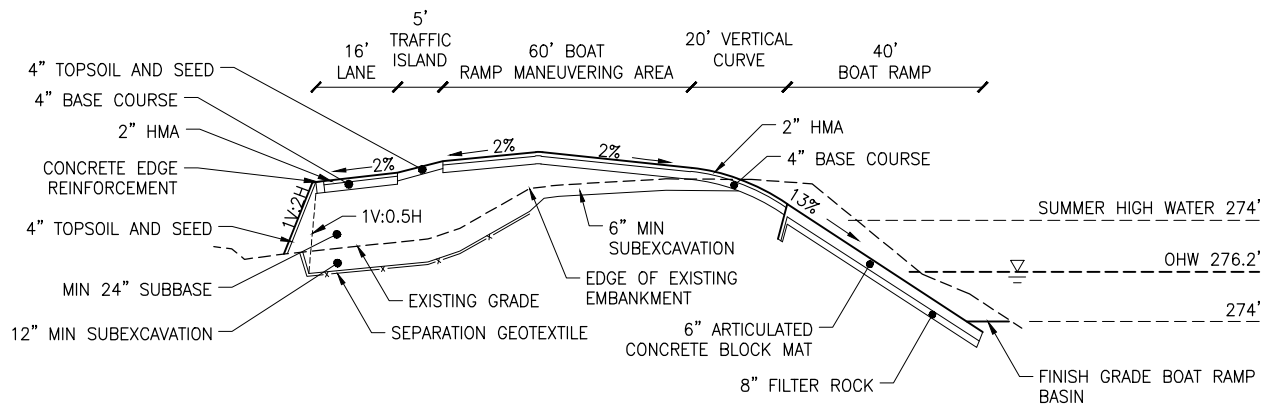
REFERENCE: POA-2003-340
 APPLICANT: USFWS
 PROPOSED: JIMS' LANDING BOAT LAUNCH ACCESS AND PARKING IMPROVEMENTS

AT: COOPER LANDING, AK
 SHEET **4** of **8** 3/29/2022

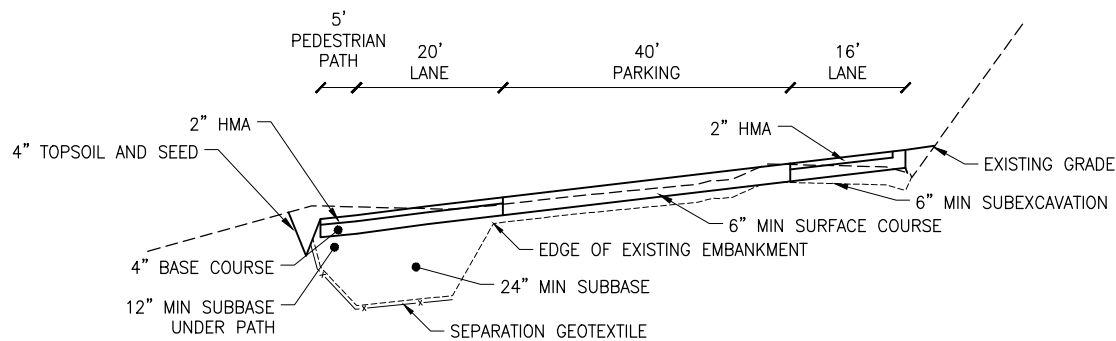




BOAT RAMP SECTION A-A



BOAT RAMP AND SITE SECTION B-B



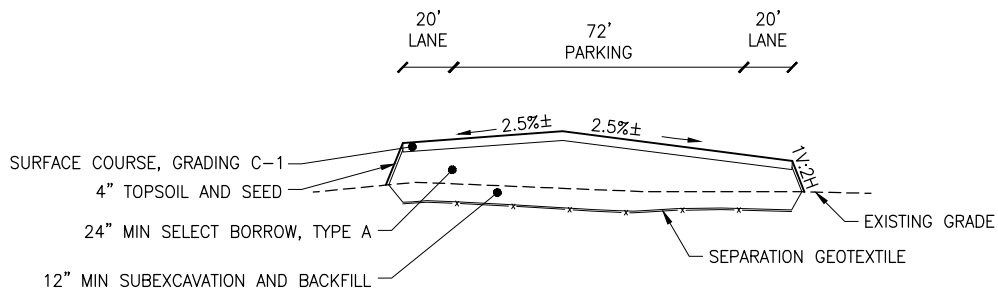
ACCESS ROAD AND PARKING SECTION C-C

SITE SECTIONS

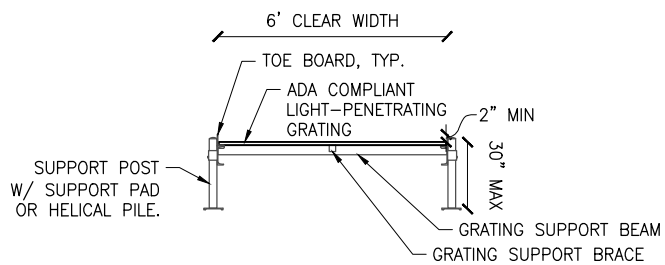
SECTIONS NOT TO SCALE

REFERENCE: POA-2003-340
 APPLICANT: USFWS
 PROPOSED: JIMS' LANDING BOAT
 LAUNCH ACCESS AND
 PARKING IMPROVEMENTS

AT: COOPER LANDING, AK
 SHEET **6** of **8** 3/29/2022



OFF-SITE PARKING SECTION D-D



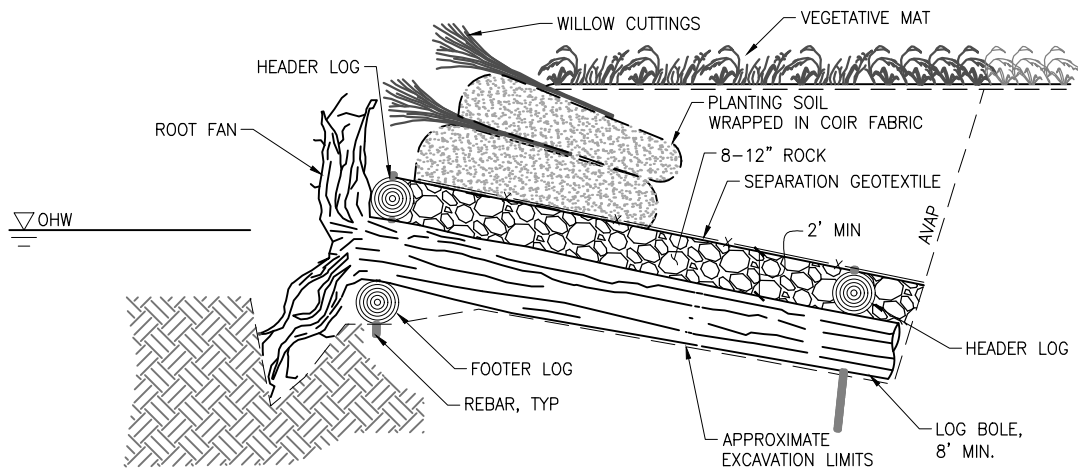
OFF-SITE PARKING ELEVATED PEDESTRIAN WALKWAY SECTION E-E

SITE SECTIONS

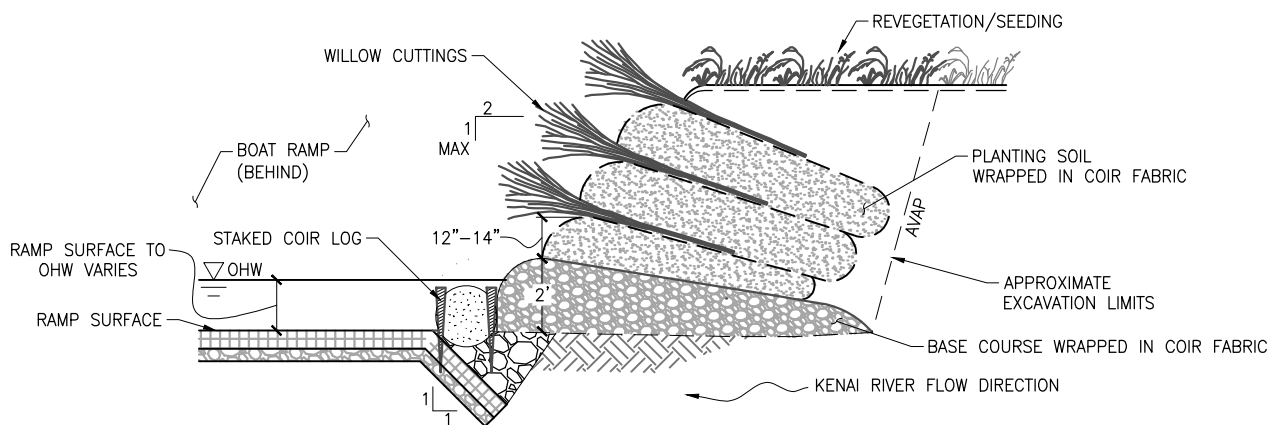
SECTIONS NOT TO SCALE

REFERENCE: POA-2003-340
 APPLICANT: USFWS
 PROPOSED: JIMS' LANDING BOAT
 LAUNCH ACCESS AND
 PARKING IMPROVEMENTS

AT: COOPER LANDING, AK
 SHEET **7** of **8** 3/29/2022



ROOT WAD BANK STABILIZATION



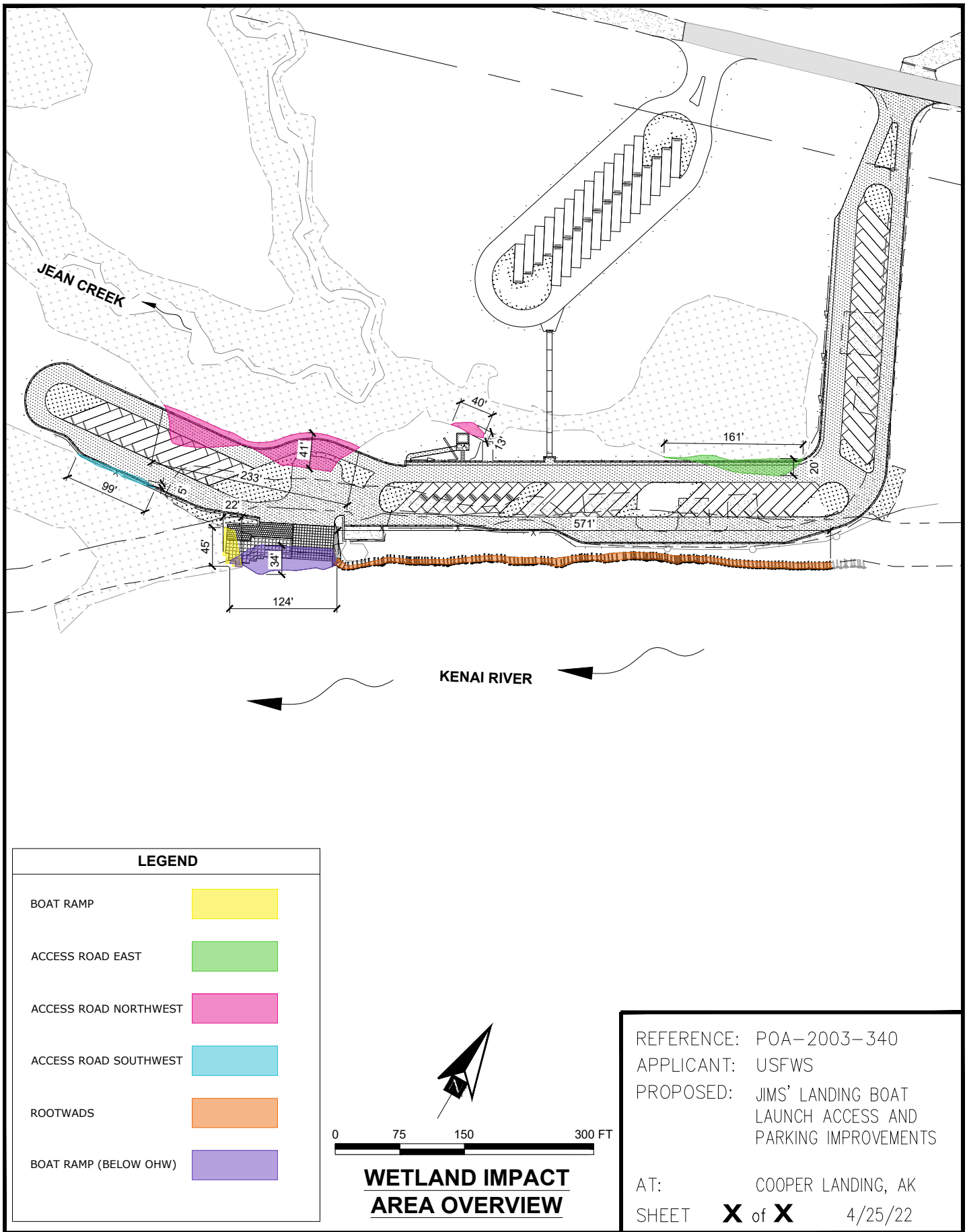
BRUSH LAYERING

BANK STABILIZATION DETAILS

DETAILS NOT TO SCALE

REFERENCE: POA-2003-340
 APPLICANT: USFWS
 PROPOSED: JIMS' LANDING BOAT
 LAUNCH ACCESS AND
 PARKING IMPROVEMENTS

AT: COOPER LANDING, AK
 SHEET **8** of **8** 3/29/2022



PERMANENT WETLAND IMPACTS										
ACTIVITY ¹	CUT		GRAVEL		PAVEMENT		CONCRETE BLOCK		TOTAL AREA (SF)	TOTAL AREA (ACRES)
	VOLUME (CY)	AREA (SF)	FILL VOLUME (CY)	AREA (SF) ³	FILL VOLUME (CY)	AREA (SF)	FILL VOLUME (CY)	AREA (SF)		
Boat Ramp	13	665	34	665	0	0	13	665	665	0.02
Access Road East	0	0	195	2122	20	1663	0	0	2257	0.05
Access Road Northwest	0	0	870	7438	45	4396	0	0	7393	0.17
Access Road Southwest	0	0	20	525	5	180	0	0	525	0.01
Rootwads	0	0	0	0	0	0	0	0	0	0.00
TOTAL	13	665	1119	10749	70	6239	13	665	10840	0.25

TEMPORARY WETLAND IMPACTS				
ACTIVITY ¹	CUT		TOTAL AREA (SF)	TOTAL AREA (ACRES)
	VOLUME (CY)	AREA (SF)		
Boat Ramp	15	300	300	0.01
Access Road East ²	104	2120	2120	0.05
Access Road Northwest ²	260	7438	7438	0.17
Access Road Southwest ²	22	480	480	0.01
Rootwads	0	0	0	0.00
TOTAL	401	10338	10338	0.24

PERMANENT IMPACTS BELOW OHW								
ACTIVITY ¹	CUT		GRAVEL		CONCRETE BLOCK		TOTAL AREA (SF)	TOTAL AREA (ACRES)
	VOLUME (CY)	AREA (SF)	FILL VOLUME (CY)	AREA (SF) ³	FILL VOLUME (CY)	AREA (SF)		
Boat Ramp	150	3500	60	2250	30	950	3500	0.08
Rootwads	0	0	1675	6000	0	0	6000	0.14
TOTAL	150	3500	1735	8250	30	950	9500	0.22

TEMPORARY IMPACTS BELOW OHW				
ACTIVITY ¹	CUT		TOTAL AREA (SF)	TOTAL AREA (ACRES)
	VOLUME (CY)	AREA (SF)		
Boat Ramp	0	0	0	0.00
Rootwads	195	4490	4490	0.10
TOTAL	195	4490	4490	0.10

- NOTES:**
- Quantities are broken out into the disturbance areas noted in the PDF titled *Wetland Impact Area Overview* , 4/25/22.
 - Temporary wetland impacts from the access road are all from subexcavation. Subexcavation will be backfilled with material, and those impact quantities are also accounted for in the associated permanent impact quantities.
 - Gravel quantities include areas that are also covered with pavement or concrete block, and therefore some area quantities are duplicated between material types. The Total Area columns do not double count areas.

42. Recreational Facilities

Discharges of dredged or fill material into non-tidal waters of the United States for the construction or expansion of recreational facilities. Examples of recreational facilities that may be authorized by this NWP include playing fields (e.g., football fields, baseball fields), basketball courts, tennis courts, hiking trails, bike paths, golf courses, ski areas, horse paths, nature centers, and campgrounds (excluding recreational vehicle parks). This NWP also authorizes the construction or expansion of small support facilities, such as maintenance and storage buildings and stables that are directly related to the recreational activity, but it does not authorize the construction of hotels, restaurants, racetracks, stadiums, arenas, or similar facilities.

The discharge must not cause the loss of greater than 1/2-acre of non-tidal waters of the United States. This NWP does not authorize discharges of dredged or fill material into non-tidal wetlands adjacent to tidal waters.

Notification: The permittee must submit a pre-construction notification to the district engineer prior to commencing the activity. (See general condition 32.) (Authority: Section 404)

2021 Nationwide Permits General Conditions

1. Navigation

- a) No activity may cause more than a minimal adverse effect on navigation.
- b) Any safety lights and signals prescribed by the U.S. Coast Guard, through regulations or otherwise, must be installed and maintained at the permittee's expense on authorized facilities in navigable waters of the United States.
- c) The permittee understands and agrees that, if future operations by the United States require the removal, relocation, or other alteration, of the structure or work herein authorized, or if, in the opinion of the Secretary of the Army or his or her authorized representative, said structure or work shall cause unreasonable obstruction to the free navigation of the navigable waters, the permittee will be required, upon due notice from the Corps of Engineers, to remove, relocate, or alter the structural work or obstructions caused thereby, without expense to the United States. No claim shall be made against the United States on account of any such removal or alteration.

2. Aquatic Life Movements

No activity may substantially disrupt the necessary life cycle movements of those species of aquatic life indigenous to the waterbody, including those species that normally migrate through the area, unless the activity's primary purpose is to impound water. All permanent and temporary crossings of waterbodies shall be suitably culverted, bridged, or otherwise designed and constructed to maintain low flows to sustain the movement of those aquatic species. If a bottomless culvert cannot be used, then the crossing should be designed and constructed to minimize adverse effects to aquatic life movements.

3. Spawning Areas

Activities in spawning areas during spawning seasons must be avoided to the maximum extent practicable. Activities that result in the physical destruction (e.g., through excavation, fill, or downstream smothering by substantial turbidity) of an important spawning area are not authorized.

4. Migratory Bird Breeding Areas

Activities in waters of the United States that serve as breeding areas for migratory birds must be avoided to the maximum extent practicable.

5. Shellfish Beds

No activity may occur in areas of concentrated shellfish populations, unless the activity is directly related to a shellfish harvesting activity authorized by NWPs 4 and 48, or is a shellfish seeding or habitat restoration activity authorized by NWP 27.

6. Suitable Material

No activity may use unsuitable material (e.g., trash, debris, car bodies, asphalt, etc.). Material used for construction or discharged must be free from toxic pollutants in toxic amounts (see section 307 of the Clean Water Act).

7. Water Supply Intakes

No activity may occur in the proximity of a public water supply intake, except where the activity is for the repair or improvement of public water supply intake structures or adjacent bank stabilization.

8. Adverse Effects from Impoundments

If the activity creates an impoundment of water, adverse effects to the aquatic system due to accelerating the passage of water, and/or restricting its flow must be minimized to the maximum extent practicable.

9. Management of Water Flows

To the maximum extent practicable, the pre- construction course, condition, capacity, and location of open waters must be maintained for each activity, including stream channelization, storm water management activities, and temporary and permanent road crossings, except as provided below. The activity must be constructed to withstand expected high flows. The activity must not restrict or impede the passage of normal or high flows, unless the primary purpose of the activity is to impound water or manage high flows. The activity may alter the pre- construction course, condition, capacity, and location of open waters if it benefits the aquatic environment (e.g., stream restoration or relocation activities).

10. Fills within 100-year Floodplain

The activity must comply with applicable FEMA-approved state or local floodplain management requirements.

11. Equipment

Heavy equipment working in wetlands or mudflats must be placed on mats, or other measures must be taken to minimize soil disturbance.

12. Soil Erosion and Sediment Controls

Appropriate soil erosion and sediment controls must be used and maintained in effective operating condition during construction, and all exposed soil and other fills, as well as any work below the ordinary high water mark or high tide line, must be permanently stabilized at the earliest practicable date. Permittees are encouraged to perform work within waters of the United States during periods of low-flow or no-flow, or during low tides.

13. Removal of Temporary Fills

Temporary fills must be removed in their entirety and the affected areas returned to pre-construction elevations. The affected areas must be revegetated, as appropriate.

14. Proper Maintenance

Any authorized structure or fill shall be properly maintained, including maintenance to ensure public safety and compliance with applicable NWP general conditions, as well as any activity-specific conditions added by the district engineer to an NWP authorization.

15. Single and Complete Project

The activity must be a single and complete project. The same NWP cannot be used more than once for the same single and complete project.

16. Wild and Scenic Rivers

a) No NWP activity may occur in a component of the National Wild and Scenic River System, or in a river officially designated by Congress as a “study river” for possible inclusion in the system while the river is in an official study status, unless the appropriate Federal agency with direct management responsibility for such river, has determined in writing that the proposed activity will not adversely affect the Wild and Scenic River designation or study status.

b) If a proposed NWP activity will occur in a component of the National Wild and Scenic River System, or in a river officially designated by Congress as a “study river” for possible inclusion in the system while the river is in an official study status, the permittee must submit a pre-construction notification (see general condition 32). The district engineer will coordinate the PCN with the Federal agency with direct management responsibility for that river. The permittee shall not begin the NWP activity until notified by the district engineer that the Federal agency with direct management responsibility for that river has determined in writing that the proposed NWP activity will not adversely affect the Wild and Scenic River designation or study status.

c) Information on Wild and Scenic Rivers may be obtained from the appropriate Federal land management agency responsible for the designated Wild and Scenic River or Study River (e.g., National Park Service, U.S. Forest Service, Bureau of Land Management, U.S. Fish and Wildlife Service). Information on these rivers is also available at: <http://www.rivers.gov/>.

17. Tribal Rights

No activity or its operation may impair reserved tribal rights, including, but not limited to, reserved water rights and treaty fishing and hunting rights.

18. Endangered Species

a) No activity is authorized under any NWP which is likely to directly or indirectly jeopardize the continued existence of a threatened or endangered species or a species proposed for such designation, as identified under the Federal Endangered Species Act (ESA), or which will directly or indirectly destroy or adversely modify designated critical habitat or critical habitat proposed for such designation. No activity is authorized under any NWP which “may affect” a listed species or critical habitat, unless ESA section 7 consultation addressing the consequences of the proposed activity on listed species or critical habitat has been completed. See 50 CFR 402.02 for the definition of “effects of the action” for the purposes of ESA section 7 consultation, as well as 50 CFR 402.17, which provides further explanation under ESA section 7 regarding “activities that are reasonably certain to occur” and “consequences caused by the proposed action.”

b) Federal agencies should follow their own procedures for complying with the requirements of the ESA (see 33 CFR 330.4(f)(1)). If pre-construction notification is required for the proposed activity, the Federal permittee must provide the district engineer with the appropriate documentation to demonstrate compliance with those requirements. The district engineer will verify that the appropriate documentation has been submitted. If the appropriate documentation has not been submitted, additional ESA section 7 consultation may be necessary for the activity and the respective federal agency would be responsible for fulfilling its obligation under section 7 of the ESA.

c) Non-federal permittees must submit a pre-construction notification to the district engineer if any listed species (or species proposed for listing) or designated critical habitat (or critical habitat proposed such designation) might be affected or is in the vicinity of the activity, or if the activity is located in designated critical habitat or critical habitat proposed for such designation, and shall not begin work on the activity until notified by the district engineer that the requirements of the ESA have been satisfied and that the activity is authorized. For activities that might affect Federally-listed endangered or threatened species (or species proposed for listing) or designated critical habitat (or critical habitat proposed for such designation), the pre-construction notification must include the name(s) of the endangered or threatened species (or species proposed for listing) that might be affected by the proposed activity or that utilize the designated critical habitat (or critical habitat proposed for such designation) that might be affected by the proposed activity. The district engineer will determine whether the proposed activity “may affect” or will have “no effect” to listed species and designated critical habitat and will notify the non-Federal applicant of the Corps’ determination within 45 days of receipt of a complete pre-construction notification. For activities where the non-Federal applicant has identified listed species (or species proposed for listing) or designated critical habitat (or critical habitat proposed for such designation) that might be affected or is in the vicinity of the activity, and has so notified the Corps, the applicant shall not begin work until the Corps has provided notification that the proposed activity will have “no effect” on listed species (or species proposed for listing or designated critical habitat (or critical habitat proposed for such designation), or until ESA section 7 consultation or conference has been completed. If the non-Federal applicant has not heard back from the Corps within 45 days, the applicant must still wait for notification from the Corps.

d) As a result of formal or informal consultation or conference with the FWS or NMFS the district engineer may add species-specific permit conditions to the NWP.

e) Authorization of an activity by an NWP does not authorize the “take” of a threatened or endangered species as defined under the ESA. In the absence of separate authorization (e.g., an ESA Section 10 Permit, a Biological Opinion with “incidental take” provisions, etc.) from the FWS or the NMFS, the Endangered Species Act prohibits any person subject to the jurisdiction of the United States to take a listed species, where “take” means to harass, harm, pursue, hunt, shoot, wound, kill, trap, capture, or collect, or to attempt to engage in any such conduct. The word “harm” in the definition of “take” means an act which actually kills or injures wildlife. Such an act may include significant habitat modification or degradation where it actually kills or injures wildlife by significantly impairing essential behavioral patterns, including breeding, feeding or sheltering.

f) If the non-federal permittee has a valid ESA section 10(a)(1)(B) incidental take permit with an approved Habitat Conservation Plan for a project or a group of projects that includes the proposed NWP activity, the non-federal applicant should provide a copy of that ESA section 10(a)(1)(B) permit with the PCN required by paragraph (c) of this general condition. The district engineer will coordinate with the agency that issued the ESA section 10(a)(1)(B) permit to determine whether the proposed NWP activity and the associated incidental take were considered in the internal ESA section 7 consultation conducted for the ESA section 10(a)(1)(B) permit. If that coordination results in concurrence from the agency that the proposed NWP activity and the associated incidental take were considered in the internal ESA section 7 consultation for the ESA section 10(a)(1)(B) permit, the district engineer does not need to conduct a separate ESA section 7 consultation for the proposed NWP activity. The district engineer will notify the non-federal applicant within 45 days of receipt of a complete pre-construction notification whether the ESA section 10(a)(1)(B) permit covers the proposed NWP activity or whether additional ESA section 7 consultation is required.

g) Information on the location of threatened and endangered species and their critical habitat can be obtained directly from the offices of the FWS and NMFS or their world wide web pages at <http://www.fws.gov/> or [http:// www.fws.gov/ipac](http://www.fws.gov/ipac) and [http:// www.nmfs.noaa.gov/pr/species/esa/](http://www.nmfs.noaa.gov/pr/species/esa/) respectively.

19. Migratory Birds and Bald and Golden Eagles

The permittee is responsible for ensuring their action complies with the Migratory Bird Treaty Act and the Bald and Golden Eagle Protection Act. The permittee is responsible for contacting appropriate local office of the U.S. Fish and Wildlife Service to determine applicable measures to reduce impacts to migratory birds or eagles, including whether “incidental take” permits are necessary and available under the Migratory Bird Treaty Act or Bald and Golden Eagle Protection Act for a particular activity.

20. Historic Properties

a) In cases where the district engineer determines that the activity may have the potential to cause effects to properties listed, or eligible for listing, in the National Register of Historic Places, the activity is not authorized, until the requirements of Section 106 of the National Historic Preservation Act (NHPA) have been satisfied.

b) Federal permittees should follow their own procedures for complying with the requirements of section 106 of the National Historic Preservation Act. If pre-construction notification is required for the proposed NWP activity, the Federal permittee must provide the district engineer with the appropriate documentation to demonstrate compliance with those requirements. The district engineer will verify that the appropriate documentation has been submitted. If the appropriate documentation is not submitted, then additional consultation under section 106 may be necessary. The respective federal agency is responsible for fulfilling its obligation to comply with section 106.

c) Non-federal permittees must submit a pre-construction notification to the district engineer if the NWP activity might have the potential to cause effects to any historic properties listed on, determined to be eligible for listing on, or potentially eligible for listing on the National Register of Historic Places, including previously unidentified properties. For such activities, the pre-construction notification must state which historic properties might have the potential to be affected by the proposed NWP activity or include a vicinity map indicating the location of the historic properties or the potential for the presence of historic properties. Assistance regarding information on the location of, or potential for, the presence of historic properties can be sought from the State Historic Preservation Officer, Tribal Historic Preservation Officer, or designated tribal representative, as appropriate, and the National Register of Historic Places (see 33 CFR 330.4(g)). When reviewing pre-construction notifications, district engineers will comply with the current procedures for addressing the requirements of section 106 of the National Historic Preservation Act. The district engineer shall make a reasonable and good faith effort to carry out appropriate identification efforts, which may include background research, consultation, oral history interviews, sample field investigation, and field survey. Based on the information submitted in the PCN and these identification efforts, the district engineer shall determine whether the proposed NWP activity has the potential to cause effects on the historic properties. Section 106 consultation is not required when the district engineer determines that the activity does not have the potential to cause effects on historic properties (see 36 CFR 800.3(a)). Section 106 consultation is required when the district engineer determines that the activity has the potential to cause effects on historic properties. The district engineer will conduct consultation with consulting parties identified under 36 CFR 800.2(c) when he or she makes any of the following effect determinations for the purposes of section 106 of the NHPA: no historic properties affected, no adverse effect, or adverse effect. Where the non-Federal applicant has identified historic properties on which the activity might have the potential to cause effects and so notified the Corps, the non-Federal applicant shall not begin the activity until notified by the district engineer either that the activity has no potential to cause effects to historic properties or that NHPA section 106 consultation has been completed.

d) For non-federal permittees, the district engineer will notify the prospective permittee within 45 days of receipt of a complete pre-construction notification whether NHPA section 106 consultation is required. If NHPA section 106 consultation is required, the district engineer will notify the non-Federal applicant that he

or she cannot begin the activity until section 106 consultation is completed. If the non-Federal applicant has not heard back from the Corps within 45 days, the applicant must still wait for notification from the Corps.

e) Prospective permittees should be aware that section 110k of the NHPA (54 U.S.C. 306113) prevents the Corps from granting a permit or other assistance to an applicant who, with intent to avoid the requirements of section 106 of the NHPA, has intentionally significantly adversely affected a historic property to which the permit would relate, or having legal power to prevent it, allowed such significant adverse effect to occur, unless the Corps, after consultation with the Advisory Council on Historic Preservation (ACHP), determines that circumstances justify granting such assistance despite the adverse effect created or permitted by the applicant. If circumstances justify granting the assistance, the Corps is required to notify the ACHP and provide documentation specifying the circumstances, the degree of damage to the integrity of any historic properties affected, and proposed mitigation. This documentation must include any views obtained from the applicant, SHPO/ THPO, appropriate Indian tribes if the undertaking occurs on or affects historic properties on tribal lands or affects properties of interest to those tribes, and other parties known to have a legitimate interest in the impacts to the permitted activity on historic properties.

21. Discovery of Previously Unknown Remains and Artifacts

If you discover any previously unknown historic, cultural or archeological remains and artifacts while accomplishing the activity authorized by this permit, you must immediately notify the district engineer of what you have found, and to the maximum extent practicable, avoid construction activities that may affect the remains and artifacts until the required coordination has been completed. The district engineer will initiate the Federal, Tribal, and state coordination required to determine if the items or remains warrant a recovery effort or if the site is eligible for listing in the National Register of Historic Places.

22. Designated Critical Resource Waters

Critical resource waters include, NOAA-managed marine sanctuaries and marine monuments, and National Estuarine Research Reserves. The district engineer may designate, after notice and opportunity for public comment, additional waters officially designated by a state as having particular environmental or ecological significance, such as outstanding national resource waters or state natural heritage sites. The district engineer may also designate additional critical resource waters after notice and opportunity for public comment.

a) Discharges of dredged or fill material into waters of the United States are not authorized by NWPs 7, 12, 14, 16, 17, 21, 29, 31, 35, 39, 40, 42, 43, 44, 49, 50, 51, and 52 for any activity within, or directly affecting, critical resource waters, including wetlands adjacent to such waters.

b) For NWPs 3, 8, 10, 13, 15, 18, 19, 22, 23, 25, 27, 28, 30, 33, 34, 36, 37, 38, and 54, notification is required in accordance with general condition 32, for any activity proposed in the designated critical resource waters including wetlands adjacent to those waters. The district engineer may authorize activities under these NWPs only after it is determined that the impacts to the critical resource waters will be no more than minimal.

23. Mitigation

The district engineer will consider the following factors when determining appropriate and practicable mitigation necessary to ensure that the individual and cumulative adverse environmental effects are no more than minimal:

a) The activity must be designed and constructed to avoid and minimize adverse effects, both temporary and permanent, to waters of the United States to the maximum extent practicable at the project site (i.e., on site).

b) Mitigation in all its forms (avoiding, minimizing, rectifying, reducing, or compensating for resource losses) will be required to the extent necessary to ensure that the individual and cumulative adverse environmental effects are no more than minimal.

c) Compensatory mitigation at a minimum one-for-one ratio will be required for all wetland losses that exceed 1/10-acre and require preconstruction notification, unless the district engineer determines in writing that either some other form of mitigation would be more environmentally appropriate or the adverse environmental effects of the proposed activity are no more than minimal, and provides an activity-specific waiver of this requirement. For wetland losses of 1/10-acre or less that require preconstruction notification, the district engineer may determine on a case-by-case basis that compensatory mitigation is required to ensure that the activity results in only minimal adverse environmental effects.

d) Compensatory mitigation at a minimum one-for-one ratio will be required for all losses of stream bed that exceed 3/100-acre and require preconstruction notification, unless the district engineer determines in writing that either some other form of mitigation would be more environmentally appropriate or the adverse environmental effects of the proposed activity are no more than minimal, and provides an activity-specific waiver of this requirement. This compensatory mitigation requirement may be satisfied through the restoration or enhancement of riparian areas next to streams in accordance with paragraph (e) of this general condition. For losses of stream bed of 3/100-acre or less that require preconstruction notification, the district engineer may determine on a case-by-case basis that compensatory mitigation is required to ensure that the activity results in only minimal adverse environmental effects. Compensatory mitigation for losses of streams should be provided, if practicable, through stream rehabilitation, enhancement, or preservation, since streams are difficult-to-replace resources (see 33 CFR 332.3(e)(3)).

e) Compensatory mitigation plans for NWP activities in or near streams or other open waters will normally include a requirement for the restoration or enhancement, maintenance, and legal protection (e.g., conservation easements) of riparian areas next to open waters. In some cases, the restoration or maintenance/protection of riparian areas may be the only compensatory mitigation required. If restoring riparian areas involves planting vegetation, only native species should be planted. The width of the required riparian area will address documented water quality or aquatic habitat loss concerns. Normally, the riparian area will be 25 to 50 feet wide on each side of the stream, but the district engineer may require slightly wider riparian areas to address documented water quality or habitat loss concerns. If it is not possible to restore or maintain/protect a riparian area on both sides of a stream, or if the waterbody is a lake or coastal waters, then restoring or maintaining/protecting a riparian area along a single bank or shoreline may be sufficient. Where both wetlands and open waters exist on the project site, the district engineer will determine the appropriate compensatory mitigation (e.g., riparian areas and/or wetlands compensation) based on what is best for the aquatic environment on a watershed basis. In cases where riparian areas are determined to be the most appropriate form of minimization or compensatory mitigation, the district engineer may waive or reduce the requirement to provide wetland compensatory mitigation for wetland losses.

f) Compensatory mitigation projects provided to offset losses of aquatic resources must comply with the applicable provisions of 33 CFR part 332.

1) The prospective permittee is responsible for proposing an appropriate compensatory mitigation option if compensatory mitigation is necessary to ensure that the activity results in no more than minimal adverse environmental effects. For the NWPs, the preferred mechanism for providing compensatory mitigation is mitigation bank credits or in-lieu fee program credits (see 33 CFR 332.3(b)(2) and (3)). However, if an appropriate number and type of mitigation bank or in-lieu credits are not available at the time the PCN is submitted to the district engineer, the district engineer may approve the use of permittee-responsible mitigation.

2) The amount of compensatory mitigation required by the district engineer must be sufficient to ensure that the authorized activity results in no more than minimal individual and cumulative adverse environmental effects (see 33 CFR 330.1(e)(3)). (See also 33 CFR 332.3(f).)

3) Since the likelihood of success is greater and the impacts to potentially valuable uplands are reduced, aquatic resource restoration should be the first compensatory mitigation option considered for permittee-responsible mitigation.

4) If permittee-responsible mitigation is the proposed option, the prospective permittee is responsible for submitting a mitigation plan. A conceptual or detailed mitigation plan may be used by the district engineer to make the decision on the NWP verification request, but a final mitigation plan that addresses the applicable requirements of 33 CFR 332.4(c)(2) through (14) must be approved by the district engineer before the permittee begins work in waters of the United States, unless the district engineer determines that prior approval of the final mitigation plan is not practicable or not necessary to ensure timely completion of the required compensatory mitigation (see 33 CFR 332.3(k)(3)).

5) If mitigation bank or in-lieu fee program credits are the proposed option, the mitigation plan needs to address only the baseline conditions at the impact site and the number of credits to be provided (see 33 CFR 332.4(c)(1)(ii)).

6) Compensatory mitigation requirements (e.g., resource type and amount to be provided as compensatory mitigation, site protection, ecological performance standards, monitoring requirements) may be addressed through conditions added to the NWP authorization, instead of components of a compensatory mitigation plan (see 33 CFR 332.4(c)(1)(ii)).

24. Safety of Impoundment Structures

To ensure that all impoundment structures are safely designed, the district engineer may require non-Federal applicants to demonstrate that the structures comply with established state dam safety criteria or have been designed by qualified persons. The district engineer may also require documentation that the design has been independently reviewed by similarly qualified persons, and appropriate modifications made to ensure safety.

25. Water Quality

a) Where the certifying authority (state, authorized tribe, or EPA, as appropriate) has not previously certified compliance of an NWP with CWA section 401, a CWA section 401 water quality certification for the proposed discharge must be obtained or waived (see 33 CFR 330.4(c)). If the permittee cannot comply with all of the conditions of a water quality certification previously issued by certifying authority for the issuance of the NWP, then the permittee must obtain a water quality certification or waiver for the proposed discharge in order for the activity to be authorized by an NWP.

b) If the NWP activity requires preconstruction notification and the certifying authority has not previously certified compliance of an NWP with CWA section 401, the proposed discharge is not authorized by an NWP until water quality certification is obtained or waived. If the certifying authority issues a water quality certification for the proposed discharge, the permittee must submit a copy of the certification to the district engineer. The discharge is not authorized by an NWP until the district engineer has notified the permittee that the water quality certification requirement has been satisfied by the issuance of a water quality certification or a waiver.

c) The district engineer or certifying authority may require additional water quality management measures to ensure that the authorized activity does not result in more than minimal degradation of water quality.

26. Coastal Zone Management

In coastal states where an NWP has not previously received a state coastal zone management consistency concurrence, an individual state coastal zone management consistency concurrence must be obtained, or a presumption of concurrence must occur (see 33 CFR 330.4(d)). The district engineer or a State may require additional measures to ensure that the authorized activity is consistent with state coastal zone management requirements.

27. Regional and Case-by-Case Conditions

The activity must comply with any regional conditions that may have been added by the Division Engineer (see 33 CFR 330.4(e)) and with any case specific conditions added by the Corps or by the state, Indian Tribe, or U.S. EPA in its section 401 Water Quality Certification, or by the state in its Coastal Zone Management Act consistency determination.

28. Use of Multiple Nationwide Permits

The use of more than one NWP for a single and complete project is authorized, subject to the following restrictions:

- a) If only one of the NWPs used to authorize the single and complete project has a specified acreage limit, the acreage loss of waters of the United States cannot exceed the acreage limit of the NWP with the highest specified acreage limit. For example, if a road crossing over tidal waters is constructed under NWP 14, with associated bank stabilization authorized by NWP 13, the maximum acreage loss of waters of the United States for the total project cannot exceed 1/3-acre.
- b) If one or more of the NWPs used to authorize the single and complete project has specified acreage limits, the acreage loss of waters of the United States authorized by those NWPs cannot exceed their respective specified acreage limits. For example, if a commercial development is constructed under NWP 39, and the single and complete project includes the filling of an upland ditch authorized by NWP 46, the maximum acreage loss of waters of the United States for the commercial development under NWP 39 cannot exceed 1/2-acre, and the total acreage loss of waters of United States due to the NWP 39 and 46 activities cannot exceed 1 acre.

29. Transfer of Nationwide Permit Verifications

If the permittee sells the property associated with a nationwide permit verification, the permittee may transfer the nationwide permit verification to the new owner by submitting a letter to the appropriate Corps district office to validate the transfer. A copy of the nationwide permit verification must be attached to the letter, and the letter must contain the following statement and signature:

When the structures or work authorized by this nationwide permit are still in existence at the time the property is transferred, the terms and conditions of this nationwide permit, including any special conditions, will continue to be binding on the new owner(s) of the property. To validate the transfer of this nationwide permit and the associated liabilities associated with compliance with its terms and conditions, have the transferee sign and date below.

(Transferee)
(Date)

30. Compliance Certification

Each permittee who receives an NWP verification letter from the Corps must provide a signed certification documenting completion of the authorized activity and implementation of any required compensatory mitigation. The success of any required permittee-responsible mitigation, including the achievement of ecological performance standards, will be addressed separately by the district engineer. The Corps will provide the permittee the certification document with the NWP verification letter. The certification document will include:

- a) A statement that the authorized activity was done in accordance with the NWP authorization, including any general, regional, or activity-specific conditions;
- b) A statement that the implementation of any required compensatory mitigation was completed in accordance with the permit conditions. If credits from a mitigation bank or in-lieu fee program are used to satisfy the compensatory mitigation requirements, the certification must include the documentation required by 33 CFR 332.3(l)(3) to confirm that the permittee secured the appropriate number and resource type of credits; and
- c) The signature of the permittee certifying the completion of the activity and mitigation. The completed certification document must be submitted to the district engineer within 30 days of completion of the authorized activity or the implementation of any required compensatory mitigation, whichever occurs later.

31. Activities Affecting Structures or Works Built by the United States

An activity that requires section 408 permission and/or review is not authorized by an NWP until the appropriate Corps office issues the section 408 permission or completes its review to alter, occupy, or use the USACE project, and the district engineer issues a written NWP verification.

32. Pre-Construction Notification

a) Timing. Where required by the terms of the NWP, the prospective permittee must notify the district engineer by submitting a pre-construction notification (PCN) as early as possible. The district engineer must determine if the PCN is complete within 30 calendar days of the date of receipt and, if the PCN is determined to be incomplete, notify the prospective permittee within that 30 day period to request the additional information necessary to make the PCN complete. The request must specify the information needed to make the PCN complete. As a general rule, district engineers will request additional information necessary to make the PCN complete only once. However, if the prospective permittee does not provide all of the requested information, then the district engineer will notify the prospective permittee that the PCN is still incomplete and the PCN review process will not commence until all of the requested information has been received by the district engineer. The prospective permittee shall not begin the activity until either:

- 1) He or she is notified in writing by the district engineer that the activity may proceed under the NWP with any special conditions imposed by the district or division engineer; or
- 2) 45 calendar days have passed from the district engineer's receipt of the complete PCN and the prospective permittee has not received written notice from the district or division engineer. However, if the permittee was required to notify the Corps pursuant to general condition 18 that listed species or critical habitat might be affected or are in the vicinity of the activity, or to notify the Corps pursuant to general condition 20 that the activity might have the potential to cause effects to historic properties, the permittee cannot begin the activity until receiving written notification from the Corps that there is "no effect" on listed species or "no potential to cause effects" on historic properties, or that any consultation required under Section 7 of the Endangered Species Act (see 33 CFR 330.4(f)) and/or section 106 of the National Historic Preservation Act (see 33 CFR

330.4(g)) has been completed. If the proposed activity requires a written waiver to exceed specified limits of an NWP, the permittee may not begin the activity until the district engineer issues the waiver. If the district or division engineer notifies the permittee in writing that an individual permit is required within 45 calendar days of receipt of a complete PCN, the permittee cannot begin the activity until an individual permit has been obtained. Subsequently, the permittee's right to proceed under the NWP may be modified, suspended, or revoked only in accordance with the procedure set forth in 33 CFR 330.5(d)(2).

b) Contents of the Pre-Construction Notification: The PCN must be in writing and include the following information:

1) Name, address and telephone numbers of the prospective permittee;

2) Location of the proposed activity;

3) Identify the specific NWP or NWP(s) the prospective permittee wants to use to authorize the proposed activity;

4) (i) A description of the proposed activity; the activity's purpose; direct and indirect adverse environmental effects the activity would cause, including the anticipated amount of loss of wetlands, other special aquatic sites, and other waters expected to result from the NWP activity, in acres, linear feet, or other appropriate unit of measure; a description of any proposed mitigation measures intended to reduce the adverse environmental effects caused by the proposed activity; and any other NWP(s), regional general permit(s), or individual permit(s) used or intended to be used to authorize any part of the proposed project or any related activity, including other separate and distant crossings for linear projects that require Department of the Army authorization but do not require pre-construction notification. The description of the proposed activity and any proposed mitigation measures should be sufficiently detailed to allow the district engineer to determine that the adverse environmental effects of the activity will be no more than minimal and to determine the need for compensatory mitigation or other mitigation measures;

(ii) For linear projects where one or more single and complete crossings require pre-construction notification, the PCN must include the quantity of anticipated losses of wetlands, other special aquatic sites, and other waters for each single and complete crossing of those wetlands, other special aquatic sites, and other waters (including those single and complete crossings authorized by an NWP but do not require PCNs). This information will be used by the district engineer to evaluate the cumulative adverse environmental effects of the proposed linear project, and does not change those non-PCN NWP activities into NWP PCNs;

(iii) Sketches should be provided when necessary to show that the activity complies with the terms of the NWP. (Sketches usually clarify the activity and when provided results in a quicker decision. Sketches should contain sufficient detail to provide an illustrative description of the proposed activity (e.g., a conceptual plan), but do not need to be detailed engineering plans);

5) The PCN must include a delineation of wetlands, other special aquatic sites, and other waters, such as lakes and ponds, and perennial and intermittent streams, on the project site. Wetland delineations must be prepared in accordance with the current method required by the Corps. The permittee may ask the Corps to delineate the special aquatic sites and other waters on the project site, but there may be a delay if the Corps does the delineation, especially if the project site is large or contains many wetlands, other special aquatic sites, and other waters. Furthermore, the 45-day period will not start until the delineation has been submitted to or completed by the Corps, as appropriate;

6) If the proposed activity will result in the loss of greater than 1/10-acre of wetlands or 3/100-acre of stream bed and a PCN is required, the prospective permittee must submit a statement describing how the mitigation requirement will be satisfied, or explaining why the adverse environmental effects are no more than minimal

and why compensatory mitigation should not be required. As an alternative, the prospective permittee may submit a conceptual or detailed mitigation plan;

7) For non-federal permittees, if any listed species (or species proposed for listing) or designated critical habitat (or critical habitat proposed for such designation) might be affected or is in the vicinity of the activity, or if the activity is located in designated critical habitat (or critical habitat proposed for such designation), the PCN must include the name(s) of those endangered or threatened species (or species proposed for listing) that might be affected by the proposed activity or utilize the designated critical habitat (or critical habitat proposed for such designation) that might be affected by the proposed activity. For NWP activities that require pre-construction notification, Federal permittees must provide documentation demonstrating compliance with the Endangered Species Act;

8) For non-federal permittees, if the NWP activity might have the potential to cause effects to a historic property listed on, determined to be eligible for listing on, or potentially eligible for listing on, the National Register of Historic Places, the PCN must state which historic property might have the potential to be affected by the proposed activity or include a vicinity map indicating the location of the historic property. For NWP activities that require pre-construction notification, Federal permittees must provide documentation demonstrating compliance with section 106 of the National Historic Preservation Act;

9) For an activity that will occur in a component of the National Wild and Scenic River System, or in a river officially designated by Congress as a “study river” for possible inclusion in the system while the river is in an official study status, the PCN must identify the Wild and Scenic River or the “study river” (see general condition 16); and

10) For an NWP activity that requires permission from, or review by, the Corps pursuant to 33 U.S.C. 408 because it will alter or temporarily or permanently occupy or use a U.S. Army Corps of Engineers federally authorized civil works project, the pre-construction notification must include a statement confirming that the project proponent has submitted a written request for section 408 permission from, or review by, the Corps office having jurisdiction over that USACE project.

c) Form of Pre-Construction Notification: The nationwide permit pre-construction notification form (Form ENG 6082) should be used for NWP PCNs. A letter containing the required information may also be used. Applicants may provide electronic files of PCNs and supporting materials if the district engineer has established tools and procedures for electronic submittals.

d) Agency Coordination:

(1) The district engineer will consider any comments from Federal and state agencies concerning the proposed activity’s compliance with the terms and conditions of the NWPs and the need for mitigation to reduce the activity’s adverse environmental effects so that they are no more than minimal.

(2) Agency coordination is required for:

(i) All NWP activities that require pre-construction notification and result in the loss of greater than 1/2-acre of waters of the United States;

(ii) NWP 13 activities in excess of 500 linear feet, fills greater than one cubic yard per running foot, or involve discharges of dredged or fill material into special aquatic sites; and

(iii) NWP 54 activities in excess of 500 linear feet, or that extend into the waterbody more than 30 feet from the mean low water line in tidal waters or the ordinary high water mark in the Great Lakes.

(3) When agency coordination is required, the district engineer will immediately provide (e.g., via email, facsimile transmission, overnight mail, or other expeditious manner) a copy of the complete PCN to the appropriate Federal or state offices (FWS, state natural resource or water quality agency, EPA, and, if appropriate, the NMFS). With the exception of NWP 37, these agencies will have 10 calendar days from the date the material is transmitted to notify the district engineer via telephone, facsimile transmission, or email that they intend to provide substantive, site-specific comments. The comments must explain why the agency believes the adverse environmental effects will be more than minimal. If so contacted by an agency, the district engineer will wait an additional 15 calendar days before making a decision on the preconstruction notification. The district engineer will fully consider agency comments received within the specified time frame concerning the proposed activity's compliance with the terms and conditions of the NWPs, including the need for mitigation to ensure that the net adverse environmental effects of the proposed activity are no more than minimal. The district engineer will provide no response to the resource agency, except as provided below. The district engineer will indicate in the administrative record associated with each pre-construction notification that the resource agencies' concerns were considered. For NWP 37, the emergency watershed protection and rehabilitation activity may proceed immediately in cases where there is an unacceptable hazard to life or a significant loss of property or economic hardship will occur. The district engineer will consider any comments received to decide whether the NWP 37 authorization should be modified, suspended, or revoked in accordance with the procedures at 33 CFR 330.5.

(4) In cases of where the prospective permittee is not a Federal agency, the district engineer will provide a response to NMFS within 30 calendar days of receipt of any Essential Fish Habitat conservation recommendations, as required by section 305(b)(4)(B) of the Magnuson-Stevens Fishery Conservation and Management Act.

(5) Applicants are encouraged to provide the Corps with either electronic files or multiple copies of preconstruction notifications to expedite agency coordination.

ALASKA DISTRICT REGIONAL CONDITIONS
for the
2021 NATIONWIDE PERMITS (NWP)
(12, 21, 29, 39, 40, 42, 43, 44, 48, 50, 51, 52, 55, 56, 57, 58)

The Alaska District Regulatory Office has issued the following Regional Conditions to ensure that activities authorized by NWPs in the Alaska District cause no more than minimal adverse environmental effects, individually and cumulatively. Before the Alaska District will verify an activity under one or more NWPs, the proposed activity must comply with the NWP terms and all applicable General and Regional Conditions.

APPLICABILITY: The following would apply throughout the state of Alaska.

RESTRICTIONS:

Regional Condition A – RESERVED

Regional Condition B – Additional Pre-Construction Notification (PCN) Requirements

1. RESERVED

2. A PCN is required for projects that qualify for NWPs 12, 57 (C), and 58 (D) across the State of Alaska. Within the Municipality of Anchorage, all NWPs require a PCN.

3. NWP 48: A PCN is required for impacts to greater than 1/2 acre of special aquatic sites (wetlands, mudflats, vegetated shallows, coral reefs, etc.).

4. NWP 12, 57 (C), 58 (D). A PCN is required for projects located within permafrost soils identified using the appropriate soil survey or other appropriate data.

REGIONAL CONDITION C - Activities Involving Trenching

Trenches may not be constructed or backfilled in such a manner as to drain waters of the U.S. (e.g., backfilling with extensive gravel layers, creating a French drain effect). Ditch plugs or other methods shall be used to prevent this situation.

Except for material placed as minor trench over-fill or surcharge necessary to offset subsidence or compaction, all excess materials shall be removed to a non waters of the U.S. location. The backfilled trench shall achieve the pre-construction elevation, within a year of disturbance unless climatic conditions warrant additional time. The additional time must be approved by the Corps.

Excavated material temporarily sidecast into wetlands shall be underlain with geotextile, ice pads, or similar material, to allow for removal of the temporary material to the maximum extent practicable.

REGIONAL CONDITION D - Site Revegetation for Projects with Ground Disturbing Activities

Re-vegetation of all disturbed areas within the project site shall begin as soon as site conditions allow and in the same growing season as the disturbance, unless climatic conditions warrant additional time. Topsoil (the outermost layer of soil, usually the top 2 – 8 inches) removed from the construction area shall be separated and used for site rehabilitation. When backfilling, topsoil shall be placed as the top layer to provide a seed bed for regrowth. If topsoil is not available from the

project site, local native soil material obtained from an approved site may be used. Species used for seeding and planting shall be certified seed sources free of invasive species and follow this order of preference: 1) species native to the site; 2) species native to the region; 3) species native to the state.

REGIONAL CONDITION E - Delineation of Project Footprint

Prior to commencement of construction activities within waters of the U.S., the permittee shall clearly identify the permitted limits of disturbance at the project site with highly visible markers (e.g. construction fencing, flagging, silt barriers, etc.). The permittee shall properly maintain such identification until construction is complete and the soils have been stabilized. The permittee is prohibited from conducting any unauthorized Corps-regulated activity outside of the permitted limits of disturbance (as shown on the permit drawings).

REGIONAL CONDITION F - Maintenance of Hydrology Patterns

Natural drainage patterns shall be maintained using appropriate methods. Excessive ponding or drying adjacent to fill areas shall indicate non-compliance with this condition.

REGIONAL CONDITIONS G, H, I AND J APPLY TO SPECIFIC NWPs

REGIONAL CONDITION G - NWP 40 Agricultural Activities

The following activities are not authorized by NWP 40: a. Installation, placement, or construction of drain tiles, ditches, or levees; and b. Mechanized land clearing or land leveling in wetlands within 300 feet of an anadromous water (anadromous water is defined by the state of AK see <https://www.adfg.alaska.gov/sf/SARR/AWC/index.cfm?ADFG=main.interactive>).

REGIONAL CONDITION H - NWP 44 Mining Activities

Placer mining activities are excluded from coverage by NWP 44 (Mining Activities). Placer mining may be authorized by Regional General Permit POA-2014-00055-M1. In Alaska, NWP 44 may only authorize the following activities:

1. Hard rock mining within waters jurisdictional under only Section 404 of the Clean Water Act, not including trenching, drilling, or access road construction.
2. Temporary stockpiling of sand and gravel in waters of the U.S., limited to seasonally dewatered unvegetated sand/gravel bars. Stockpiles shall be completely removed and the area restored to pre-project contours within one year, in advance of seasonal ordinary high water events, or prior to equipment being removed from site, whichever occurs first.

REGIONAL CONDITION I – NWP 48, 55 (A), and 56 (B):

When an Aquatic Farm Lease is required from the Alaska Department of Natural Resources (ADNR) for a new or modified aquatic farm, the applicant must obtain and submit a copy of the ADNR preliminary decision with a Preconstruction Notification to the USACE.

REGIONAL CONDITION J -- NWPs 21, 29, 39, 40, 42, 43, 44, 50, 51, and 52: The discharge of dredged or fill material must not cause 1) the loss of anadromous streambed, and/or 2) the discharge of dredged or fill material into waterbodies, including wetlands, adjacent to and/or upstream of an anadromous waterbody, unless the district engineer issues a waiver by making a written determination concluding that these discharges will result in no more than minimal individual and cumulative adverse environmental effects.



Division of Parks and Outdoor Recreation

Alaska Department of Natural Resources

Special Use Permit

PERMIT #: 22-KA-4270/ RC 12884

Name of Permittee: Andy Loranger
Business Name (if applicable): U.S. Fish and Wildlife Service (USFWS)
Address: PO Box 2139
City/State/Zip Code: Soldotna, AK 99669

Location of Authorized Activity:

T5N, R5W, Sec 35 S.M.
Jim's Landing Boat Launch
KPB # 025-180-02

This permit authorizes the installation of a new boat ramp that will measure approximate 110-feet by 50-feet. The ramp surface will consist of articulated concrete block (ABC) mat. When installing the ramp, the area will be graded to a 13% slope and be embedded below grade on all sides. The bottom of the boat launch area shall be sloped to drain to the Kenai River. All work will be conducted when the project area is dewatered.

This project will also include this installation and maintenance of approximately 575 feet of new root wad bank stabilization. This will include areas of existing root wads that will be replaced and new areas where root wads did not exist. Above the root wad installation the riverbank area will be built back with soil wraps, brush layering and vegetative mat.

Construction will take place during low water flows, if isolation is required, a cofferdam or silt fence will be installed below ordinary high water (OHW) from the Kenai River.

The permittee is solely responsible for obtaining all necessary local, state and federal permits before beginning work. Issuance of this permit does not constitute final approval.

Issue Date: 03/01/22 **Expiration Date:** 12/31/24

The permittee agrees to abide by the terms and conditions of this permit, including any attached stipulations, and will confine his/her activities to those described herein. Permit required by 11 AAC 18.010.

Permittee Signature

Date


Issuing Official


Title

3/01/22
Date

SPECIAL STIPULATIONS

1. There shall be no tracked or wheeled equipment operated within the flowing waters of the Kenai River. All work shall be conducted at low water when the work area is completely dewatered.
2. Only natural or biodegradable materials shall be installed below OHW, unless approved in writing by the DPOR.
3. The new root wads will be installed by excavating the riverbank by digging downward leaving the landward side of the excavation deeper than the river side. The root wad trunks will be placed in the excavation, perpendicular on top of the footer logs, with the root wad fans facing the river. Header logs will be placed across the root fans crossing as many root wad boles as possible and pinned into place with rebar. Clean cobble and gravel will be placed in the root wads to form the foundation for the remainder of the project. On top of that layer of root wads foundation, multiple layers of brush layering will be installed up to the top of the desired bank level. The brush layering will be installed by placing a layer of soil fill wrapped in CF7 and ENC2 mats (or the equivalent) landward of the header log. On top of that layer, one or more layers of organic fill material encased in coconut fiber CF7 and ENC2 mat (or the equivalent) will be installed to the desired level of the bank above OHW. Felt leaf willow will be planted below and above each brush layer, at a density of 15 stems per linear foot. Vegetated mat will be planted on top of the newly installed fill above OHW. The slope of the installed bank will be no greater than 1:1
4. Maintenance of the root wads may require the placement of clean rock/cobble material into portions of the bank that has voids in the rootwads due to settling. The rock/cobble will be 6-inch to 18-inch angular rock and added to the existing rootwad voids to stabilize the rootwad and the toe of the slope. All rock/cobble must be placed above ordinary High Water (OHW) in voids behind the rootwad fans, and within the area that was originally permitted.
5. If the root wads are not maintained and deteriorate, all rebar and anchors that remain below OHW must be removed.
6. State water quality standards shall be maintained and all necessary techniques to prevent the introduction of sediments, contaminants and other materials in the Kenai River during and after construction will be employed. If necessary the project area will be isolated using silt fencing to prevent silt and erosion from entering the Kenai River.
7. Fuel storage tanks and other hazardous petroleum related products shall be located a minimum of 100 feet from the mean high water line, and shall be placed in impermeable basins capable of retaining 110 percent of storage capacity plus

12 inches of free board. **There shall be no fuel storage within 100' of the Kenai River.**

8. The DPOR shall be notified at the Kenai River Center (717-2471) three days before project startup.
9. Refueling of equipment and the storage of petroleum products within 100 feet of the ordinary high water are prohibited.
10. The Alaska Historic Preservation Act (AS 41.35.200) prohibits the appropriation, excavation, removal, injury, or destruction of any state-owned historic, prehistoric (paleontological) or archeological site without a permit from the commissioner. Should any sites be discovered during the course of field operations, activities that may damage the site will cease and the Office of History and Archaeology in the Division of Parks and Outdoor Recreation ((907) 762-2622) and the appropriate coastal district shall be notified immediately.

GENERAL STIPULATIONS

1. **NON-ASSIGNMENT.** This permit may not be assigned without the written approval and acceptance of the assignee by the director or his/her designee. Further, the licensee shall not sublet or enter into any third party agreements involving the privileges authorized by this permit.
2. **STATE HELD HARMLESS.** The permittee agrees to indemnify, defend and hold harmless the State of Alaska from any and all liability claims arising from the actions of the permittee or his/her agents, employees or clients while conducting activities under this permit on state park lands or waters.
3. **FORFEITURE.** The permittee shall forfeit the permit if he/she defaults in the performance or observance of any of the permit terms, covenants, stipulations, or of a statute or regulation.
4. **LITTER REMOVAL.** The permittee shall remove all litter caused by their activities and shall make a reasonable effort to pick up and remove from the park litter which they find in the vicinity of their activities within the park.
5. **PROTECTION OF PARK LAND OR PROPERTY FROM DAMAGE.** The permittee shall exercise diligence in protecting from damage the land, property and resources of the Division of Parks and Outdoor Recreation in the area covered by and used in connection with this permit and shall pay the division for any damage resulting from negligence or from the violation of the terms of this permit or any law or regulation applicable to the use of state parks by the permittee or by his/her agents and employees when acting within the scope of their employment.
6. **GEOGRAPHIC LIMITATION.** This permit is applicable only for the use areas described.
7. **NO PREFERENTIAL RIGHT OF RENEWAL.** No rights of renewal or preferential rights for renewal are attached to this permit.
8. **CANCELLATION BY THE STATE.** It is understood and agreed that this permit may be revoked at any time at the discretion of the director or his/her designee without compensation to the permittee or liability to the state.
9. **DISTURBANCE OF PARK RESOURCES.** All activities shall be conducted in a manner that will avoid or minimize disturbance of park resources including natural drainage systems.
10. **ACTIVITY AREA.** All activity areas and campsites shall be kept clean and maintained in an orderly manner.
11. **NATURAL HAZARDS.** The permittee recognizes and understands that natural hazards are likely to exist within the area of his/her operation. The permittee agrees to take all reasonable precautions to make himself/herself aware of these hazards and to avoid injury to persons or

property.

12. AESTHETICS. The permittee shall protect the scenic aesthetic values of the area under this permit, and the adjacent land, as far as possible while conducting activities authorized under this permit.

13. STATE INSPECTION OF PERMIT AREA. The state reserves the right to inspect areas of activity under this permit. It is understood, however, that the state will only inspect the site during normal periods of activity by the permittee or at other times that are convenient to the permittee unless in an emergency situation.

14. STRUCTURES. Permanent structures are prohibited from being placed by the permittee on state park lands or waters, unless otherwise authorized by permit.

15. PERSONAL PROPERTY. If personal property is authorized to be placed or located on park lands or waters under the provisions of this permit, the personal property shall be removed according to the special stipulations attached to the permit or it will be impounded by the state.

16. VALID CLAIMS. This permit is subject to all valid claims and applicable laws and regulations.

17. FIRES. The permittee and his/her agents/employees agree to take all reasonable precautions to prevent, suppress and report promptly all fires on or endangering state park lands. No material shall be disposed of by burning during a closed season established by law or regulation without a written permit from the state forester.

18. PUBLIC ACCESS. The permittee, employees, agents or clients shall not interfere with free public use of roads and trails in the area or their activities except as may be authorized by special stipulation of this permit.

19. OTHER AUTHORIZATIONS: The issuance of this authorization does not alleviate the necessity of the permittee to obtain authorizations required by other agencies for this activity.



THE STATE
of **ALASKA**
GOVERNOR MIKE DUNLEAVY

Department of Fish and Game

HABITAT SECTION
Southcentral Region Office

514 Funny River Road
Soldotna, Alaska 99669-8255
Main: 907.714.2475
Fax: 907.260.5992

FISH HABITAT PERMIT FH22-V-0077

ISSUED: February 15, 2022
EXPIRES: December 31, 2023

U.S. Fish and Wildlife Service (USFWS)
Kenai National Wildlife Refuge (KNWR)
Andy Loranger
P.O. Box 2139
Soldotna, AK 99669

RE: Root Wad Maintenance
Kenai River – Stream No. 244-30-10010
Section 35, T 5N, R 5W, S.M.
Location: 60.4822° N, 150.1131° W
Kenai Peninsula Borough Parcel No. 025-180-02
River Center Tracking No. 12884

Dear Mr. Loranger:

Pursuant to the anadromous fish act at AS 16.05.871(b), the Alaska Department of Fish and Game (ADF&G), Habitat Section, has reviewed your proposal to replace and maintain root wad bank stabilization structures as a part of the Jim's Landing Boat Launch Access and Parking Improvements project. This project will replace approximately 25-feet and repair and maintain approximately 50-feet of existing root wad structures at the referenced location. The project will occur along the right bank of the Kenai River at river mile 69.7.

Project Description

The riverbank will be prepared for the replacement root wads by excavating deeper on the landward side than on the river side. Excavation will prepare the bed for placement of the root wads at the appropriate angle to allow for settling and to minimize sedimentation. Root wads will be placed such that the root fans overlap and face perpendicular to the river flow with the bottom of the fans entrenched into the riverbed. Clean, angular cobble, 8 to 12-inches in diameter, will be placed behind the root fans in between the spaces of the logs. The boles, header and footer logs will be pinned into place by drilling a hole through each and driving rebar through the hole. 8 to 12-inch angular cobbles will be hand placed in existing root wad voids as needed to maintain the existing root wad structures.

The design drawings on sheets 3-4 and 8, titled Jim's Landing Permit Drawings, submitted on February 14, 2022, as part of a River Center Multi-Agency Application, are hereby incorporated by reference into this project description.

Anadromous Fish Act

The Kenai River has been specified as being important for the migration, spawning and rearing of anadromous fish pursuant to AS 16.05.871(a). The Kenai River provides migration, spawning and rearing habitat for Chinook, sockeye, pink, chum, and coho salmon and other species of resident fish.

In accordance with AS 16.05.871(d), project approval is hereby given subject to the project description, the following stipulations, and the permit terms:

1. ADF&G, Habitat Section shall be contacted at (907) 714-2475 three days prior to project initiation.
2. If the root wads are not maintained and deteriorate, all rebar and anchors that remain below OHW must be removed.
3. All bank restoration and construction activities below the OHW elevation shall occur when the project site is de-watered. There shall be no tracked or wheeled equipment operated within the flowing waters of the Kenai River.

4. All construction activities shall be conducted so as to minimize disturbance to the riverbed and prevent the introduction of sediment, pollutants, and other material into the Kenai River.

Permit Terms

This letter constitutes a permit amendment issued under the authority of AS 16.05.871 and must be retained on site during project activities. Please be advised that this determination applies only to Habitat Section regulated activities; other agencies also may have jurisdiction under their respective authorities. This determination does not relieve you of your responsibility to secure other state, federal, or local permits. You are still required to comply with all other applicable laws.

You are responsible for the actions of contractors, agents, or other persons who perform work to accomplish the approved project. For any activity that significantly deviates from the approved plan, you shall notify the Habitat Section and obtain written approval in the form of a permit amendment before beginning the activity. Any action that increases the project's overall scope or that negates, alters, or minimizes the intent or effectiveness of any stipulation contained in this permit amendment will be deemed a significant deviation from the approved plan. The final determination as to the significance of any deviation and the need for a permit amendment is a Habitat Section responsibility. Therefore, it is recommended you consult the Habitat Section immediately when a deviation from the approved plan is being considered.

For the purpose of inspecting or monitoring compliance with any condition of this permit amendment, you shall give an authorized representative of the state free and unobstructed access, at safe and reasonable times, to the project site. You shall furnish whatever assistance and information as the authorized representative reasonably requires for monitoring and inspection purposes.

In addition to the penalties provided by law, this permit amendment may be terminated or revoked for failure to comply with its provisions or failure to comply with applicable statutes and regulations. You shall mitigate any adverse effect upon fish or wildlife, their habitats, or any restriction or interference with public use that the commissioner determines was a direct result of your failure to comply with this permit amendment or any applicable law.

You shall indemnify, save harmless, and defend the department, its agents, and its employees from any and all claims, actions, or liabilities for injuries or damages

sustained by any person or property arising directly or indirectly from permitted activities or your performance under this permit amendment. However, this provision has no effect if, and only if, the sole proximate cause of the injury is the department's negligence.

You may appeal this permit decision relating to AS 16.05.871 in accordance with the provisions of AS 44.62.330-630.

Please direct questions about this permit to Habitat Biologist Kaitlynn Cafferty at (907) 714-2481 or e-mail at kaitlynn.cafferty@alaska.gov.

Sincerely,

Doug Vincent-Lang, Commissioner

Tony Munter

By: Tony Munter
Kenai Peninsula Area Manager
Habitat Section

cc: KRC File

By email only:

ADF&G Soldotna
AWT Soldotna
COE – KFO
Al Ott, ADF&G Fairbanks
Lynnda Kahn, USFWS



THE STATE
of **ALASKA**
GOVERNOR MIKE DUNLEAVY

Department of Fish and Game

HABITAT SECTION
Southcentral Region Office

514 Funny River Road
Soldotna, Alaska 99669-8255
Main: 907.714.2475
Fax: 907.260.5992

FISH HABITAT PERMIT FH22-V-0074

ISSUED: February 15, 2022
EXPIRES: Lifetime of Structure

U.S. Fish and Wildlife Service (USFWS)
Kenai National Wildlife Refuge (KNWR)
Andy Loranger
PO Box 2139
Soldotna, AK 99669

RE: Jim's Landing Boat Launch
Kenai River – Stream No. 244-30-10010
Section 35, T 5N, R 5W, S.M.
Location: 60.4818° N, 150.1147° W
Kenai Peninsula Borough Parcel No. 025-180-02
River Center Tracking No. 12884

Dear Mr. Loranger:

Pursuant to the anadromous fish act at AS 16.05.871(b), the Alaska Department of Fish and Game (ADF&G), Habitat Section, has reviewed your proposal to replace and expand the existing boat launch at the referenced location. The project will occur along the right bank of the Kenai River at river mile 69.7.

Project Description

The new boat ramp will measure approximately 110-feet by 50-feet. The new ramp surface will consist of articulated concrete block (ACB) mat. Prior to installing the ACB mat, the existing ramp will be regraded from a 20 percent slope to a 13 percent slope. The new ramp will be embedded below grade on all sides. A 48-foot section of the ramp

will be designated as an active ramp for loading and unloading boats. The active ramp will be pulled inland 15-feet from its existing location to provide a backwater eddy with reduced velocities for safer loading and unloading of boats. The remaining ramp downstream of the active area will be used for landing and staging. Dependent on water levels, a silt curtain or cofferdam will be used to isolate the work area below ordinary high water (OHW) from the Kenai River. The total impact area of the new boat ramp below OHW will be approximately 2,700 square feet.

The design drawings on sheets 2-3, and 5-6, titled Jim's Landing Permit Drawings, submitted on February 14, 2022, as part of a River Center Multi-Agency Application, are hereby incorporated by reference into this project description.

Anadromous Fish Act

The Kenai River has been specified as being important for the migration, spawning and rearing of anadromous fish pursuant to AS 16.05.871(a). The Kenai River provides migration, spawning and rearing habitat for Chinook, sockeye, pink, chum, and coho salmon and other species of resident fish.

In accordance with AS 16.05.871(d), project approval is hereby given subject to the project description, the following stipulations, and the permit terms:

1. The wooden portions of access ramps, abutments, or pilings shall not be treated with any preservative containing pentachlorophenol or creosote. Wood preservatives must be applied using pressure treatment rather than painted on or allowed to soak into the wood.
2. All work shall be conducted when the project site is de-watered. There shall be no wheeled or tracked equipment operated, or dredging conducted, within the flowing waters of the Kenai River.
3. The boat launch and associated structures shall be designed, constructed, and installed in a manner that prevents the introduction of sediment, pollutants, and other material into the Kenai River. If streambanks are inadvertently disturbed by activities attributable to this project, they shall be stabilized and revegetated to prevent erosion and the resultant sedimentation of streams which could occur both during and after operation.

Permit Terms

This letter constitutes a permit issued under the authority of AS 16.05.871 and must be retained on site during project activities. Please be advised that this determination applies only to Habitat Section regulated activities; other agencies also may have jurisdiction under their respective authorities. This determination does not relieve you of your responsibility to secure other state, federal, or local permits. You are still required to comply with all other applicable laws.

You are responsible for the actions of contractors, agents, or other persons who perform work to accomplish the approved project. For any activity that significantly deviates from the approved plan, you shall notify the Habitat Section and obtain written approval in the form of a permit amendment before beginning the activity. Any action that increases the project's overall scope or that negates, alters, or minimizes the intent or effectiveness of any stipulation contained in this permit will be deemed a significant deviation from the approved plan. The final determination as to the significance of any deviation and the need for a permit amendment is a Habitat Section responsibility. Therefore, it is recommended you consult the Habitat Section immediately when a deviation from the approved plan is being considered.

For the purpose of inspecting or monitoring compliance with any condition of this permit, you shall give an authorized representative of the state free and unobstructed access, at safe and reasonable times, to the project site. You shall furnish whatever assistance and information as the authorized representative reasonably requires for monitoring and inspection purposes.

In addition to the penalties provided by law, this permit may be terminated or revoked for failure to comply with its provisions or failure to comply with applicable statutes and regulations. You shall mitigate any adverse effect upon fish or wildlife, their habitats, or any restriction or interference with public use that the commissioner determines was a direct result of your failure to comply with this permit or any applicable law.

You shall indemnify, save harmless, and defend the department, its agents, and its employees from any and all claims, actions, or liabilities for injuries or damages sustained by any person or property arising directly or indirectly from permitted activities or your performance under this permit. However, this provision has no effect if, and only if, the sole proximate cause of the injury is the department's negligence.

You may appeal this permit decision relating to AS 16.05.871 in accordance with the provisions of AS 44.62.330-630.

Please direct questions about this permit to Habitat Biologist Kaitlynn Cafferty at (907) 714-2481 or e-mail at kaitlynn.cafferty@alaska.gov.

Sincerely,

Doug Vincent-Lang
Commissioner

Tony Munter

By: Tony Munter
Kenai Peninsula Area Manager
Habitat Section

cc: KRC File

By email only:

AWT Soldotna
ADF&G Soldotna
COE-KFO
Al Ott, ADF&G Fairbanks
Lynnda Kahn, USFWS



THE STATE
of **ALASKA**
GOVERNOR MIKE DUNLEAVY

Department of Fish and Game

HABITAT SECTION
Southcentral Region Office

514 Funny River Road
Soldotna, Alaska 99669-8255
Main: 907.714.2475
Fax: 907.260.5992

FISH HABITAT PERMIT FH22-V-0075 Amendment I

ISSUED: April 4, 2022
EXPIRES: Lifetime of Structure

U.S. Fish and Wildlife Service (USFWS)
Kenai National Wildlife Refuge (KNWR)
Andy Loranger
PO Box 2139
Soldotna, AK 99669

RE: Bank Stabilization
Kenai River – Stream No. 244-30-10010
Section 35, T 5N, R 5W, S.M.
Location: 60.4819° N, 150.1142° W
Kenai Peninsula Borough Parcel No. 025-180-02
River Center Tracking No. 12884

Dear Mr. Loranger:

Pursuant to the anadromous fish act at AS 16.05.871(b), the Alaska Department of Fish and Game (ADF&G), Habitat Section, has reviewed your request to change the scope of work authorized by Fish Habitat Permit FH22-V-0075. Fish Habitat Permit FH22-V-0075 is amended, authorizing an extension of root wad, brush layering and vegetative matting bank stabilization structures from approximately 40-feet to approximately 575-feet at the referenced location as part of the Jim's Landing Boat Launch Access and Parking Improvements Project. The revised supplemental information and design drawings, titled Jim's Landing Boat Launch Access and Parking Improvements and Jim's Landing permit drawings, submitted on March 29, 2022, are hereby incorporated by reference into this project description. All terms and conditions of the original permit remain in effect.

You may appeal this permit decision relating to AS 16.05.871 in accordance with the provisions of AS 44.62.330-630.

Please direct questions about this permit amendment to Habitat Biologist Kaitlynn Cafferty at (907) 714-2481 or e-mail at kaitlynn.cafferty@alaska.gov.

Sincerely,

Doug Vincent-Lang
Commissioner

Tony Munter

By: Tony Munter
Kenai Peninsula Area Manager
Habitat Section

cc: KRC File

By email only:

AWT Soldotna
ADF&G Soldotna
COE – KFO
AI Ott, ADF&G Fairbanks



Donald E. Gilman River Center

514 Funny River Road, Soldotna, Alaska 99669 • (907) 714-2460 • (907) 260-5992 Fax

A Division of the Planning Department

Charlie Pierce
Borough Mayor

KENAI PENINSULA BOROUGH PLANNING COMMISSION NOTICE OF PUBLIC HEARING

Public notice is hereby given that an application for a Conditional Use Permit has been received to make improvements to public use facilities on a parcel within the 50-foot Habitat Protection District of the Kenai River, near Cooper Landing, Alaska. ***You have been sent this notice because you are a property owner within 300 feet of the described property.***

Pursuant to KPB 21.18.081(B)(4) construction of public owned facilities, parks, campgrounds, and their related uses and structures and KPB 21.18.091 Mitigation measures, projects within the 50-foot Habitat Protection District are not permitted unless a Conditional Use Permit (CUP) is approved by the Planning Commission. This project is located at T 5N R 5W & R6W SEC 1-36 SEWARD MERIDIAN KN ALL SEC 2 THRU 11 & 14 THRU 22 & 27 THRU 34 & PTN SEC 1 12 13 23 26 & 35 IN T5NR5W; SEC 1 THRU 36 IN T5NR6W in Cooper Landing, Alaska at the Jim's Landing facility.

Petitioner: USFWS
PO Box 2139
Soldotna AK 99669

Public Hearing: The Kenai Peninsula Borough Planning Commission meeting will hold a public hearing on September 12, 2022 commencing at 7:30 p.m., or as soon thereafter as business permits. The public may also attend the meeting electronically/telephonically via Zoom. To join the meeting from a computer visit <https://us06web.zoom.us/j/9077142200>. To attend the Zoom meeting by telephone call toll free 1-888-788-0099 or 1-877-853-5247. When calling in you will need the Meeting ID 907 714 2200.

Public Comment: Anyone wishing to testify may attend the above meeting to give testimony, or may submit written comment via the methods below. **Written comments must be submitted by 1:00 pm Friday, September 9, 2022.**

Mail comments to:

Donald E. Gilman River Center
514 Funny River Road
Soldotna, Alaska 99669

Fax comments to:

(907) 260-5992

Email comments to:

planning@kpb.us
KenaiRivCenter@kpb.us

For additional information, contact Morgan Aldridge, maldridge@kpb.us, Donald E. Gilman River Center, (907) 714-2465

KENAI PENINSULA BOROUGH PLANNING COMMISSION

RESOLUTION 2022-15

**A RESOLUTION GRANTING A CONDITIONAL USE PERMIT PURSUANT TO KPB 21.18 FOR THE
IMPROVEMENTS TO PUBLIC USE FACILITIES WITHIN THE 50-FOOT HABITAT PROTECTION
DISTRICT OF THE KENAI RIVER**

- WHEREAS,** Chapter 21.18 provides for the approval of Conditional Use Permits for certain activities within the habitat protection district; and
- WHEREAS,** KPB 21.18.081 provides that a conditional use permit is required for construction not meeting the standards of KPB 21.18.071; and
- WHEREAS,** KPB 21.18.091 provides for mitigation measures by the planning department staff to address impacts to the Habitat Protection District from a proposed, ongoing, or completed project; and
- WHEREAS,** public notice was sent to all property owners within a 300-foot radius of the proposed activity as provided in Section 21.11.030; and
- WHEREAS,** public notice was published in the Peninsula Clarion on September 1, 2022 and September 8, 2022 as provided in Section 21.11.020; and
- WHEREAS,** public testimony was received at the September 12, 2022 meeting of the Kenai Peninsula Borough Planning Commission;

NOW, THEREFORE, BE IT RESOLVED BY THE PLANNING COMMISSION OF THE KENAI PENINSULA BOROUGH:

That the Planning Commission makes the following findings of fact pursuant to KPB 21.18:

Section 1. Project Details Within the 50-foot Habitat Protection District

1. Repair and expansion of a public boat launch which measures 110 feet by 50 feet.
2. Installation of a 75 foot long wooden fence.
3. Installation of 17 boulders.
4. Installation of two (2) park benches.
5. Minimal removal of vegetated materials.

Section 2. Findings of fact pursuant to KPB 21.18.081

1. Portions of this proposed project are within the 50-foot habitat protection district as defined by KPB 21.18.040.
2. Pursuant to KPB 21.18.081(B)(4) construction of public owned facilities, parks, campgrounds, and their related uses and structures may be approved as a conditional structure/use within the habitat protection district.

3. Pursuant to KPB 21.18.081(B)(2), fences may be permitted within the habitat protection district under a conditional use permit.
4. Pursuant to 21.18.081(D) General Standards, staff finds that the proposed project meets the five general standards.
5. Pursuant to KPB 21.18.020(A), this chapter was established to protect and preserve the stability of anadromous fish through controlling shoreline alterations and disturbances along anadromous waters and to preserve nearshore habitat.
6. Pursuant to KPB 21.18.20(B)(5), one purpose of this chapter was established to separate conflicting land uses.
7. Pursuant to KPB 21.06.050, wide spaced timber fencing allows for the unobstructed passage of water.
8. Pursuant to KPB 21.06.081(D)(3), the proposed work will occur on the applicant's property and shall not have an adverse effect on adjoining properties.
9. Kenai Peninsula Borough Planning Commission Resolution 2015-35 defines water-dependent as:
"...a use or structure located on, in or adjacent to water areas because the use requires access to the waterbody. The definition is applicable to facilities or activities that must be located at or near the shoreline and within the 50-foot buffer. An activity is considered water dependent if it is dependent on the water as part of the intrinsic nature of its operation. Examples of water dependent facilities may include, but are not limited to, piers, boat ramps, and elevated walkways."
10. The River Center found the application complete and scheduled a public hearing for April 11, 2022.
11. Agency review was distributed on March 28, 2022 No comments or objections have been received from resource agencies to date.
12. Pursuant to KPB 21.11.030, public notice was mailed to all property owners within a radius of 300 feet of the project on August 26, 2022. A total of 1 mailing were sent.
13. Pursuant to KPB 21.11.020, public notice was published in the Peninsula Clarion on September 1, 2022 and September 8, 2022.
14. The applicant is currently in compliance with Borough permits and ordinances.

Section 3. Permit Conditions

1. Construction techniques and best management practices shall be utilized to ensure that land disturbing activities do not result in runoff or sedimentation to the Kenai River.
2. The boat launch, fence and bank stabilization must be designed and installed to meet KPB floodplain requirements.
3. The permittee shall minimize damage to all vegetation and shall revegetate all disturbed areas with native vegetation.
4. For each tree removed, two seedlings less than 5.5-feet tall of a species native to the region will be planted within the 50-foot HPD.
5. Storage or use of fuel is prohibited within 50-feet of any open water.
6. The River Center shall be notified at least 3 days prior to the start of the project.
7. If changes to the approved project described above are proposed prior to or during its siting, construction, or operation, the permittee is required to notify the River Center to determine if additional approval is required.
8. The permittee shall be held responsible for the actions of the contractors, agents, or others who perform work to accomplish the approved plan.

9. The construction or installation phase of this Conditional Use Permit must be completed within one calendar year from the date of the permit's issuance, or the Conditional Use Permit shall expire unless the Planning Commission finds that more time is necessary to effectuate the purposes of this chapter, in which case the commission may extend the deadline for a maximum of six years from the date of issuance. Prior to its expiration date and upon written request, the Planning Director may grant a Conditional Use Permit extension for 12 months (KPB 21.18.081 (H)).
10. In addition to the penalties provided by KPB 21.18.110, and pursuant to KPB 21.50, the permit may be revoked if the permittee fails to comply with the provisions of this chapter or the terms and conditions of a permit issued under this chapter. The Borough Clerk shall provide at least 15 day's written notice to the permittee of a revocation hearing before the hearing officer (KPB 21.18.082).
11. The permittee shall comply with the terms, conditions and requirements of the Kenai Peninsula Borough Code of Ordinances Chapter 21.18, and any regulations adopted pursuant to this chapter.
12. The permittee is responsible for abiding by all other federal, state, and local laws, regulations, and permitting requirements applicable to the project (KPB 21.18.081 (G)).

Section 4. Pursuant to 21.18.081(D) General Standards, the following standards shall be met before conditional use approval may be granted:

1. The use or structure will not cause significant erosion, sedimentation, damage within the habitat protection district, an increase in ground or surface water pollution, and damage to riparian wetlands and riparian ecosystems; **Conditions 1-5 appear to support this standard.**
2. Granting of the conditional use shall be consistent with the purposes of this chapter, the borough comprehensive plan, other applicable chapters of the borough Code, and other applicable planning documents adopted by the borough; **Findings 3-5 and Conditions 11-12 appear to support this standard.**
3. The development of the use or structure shall not physically damage the adjoining property; **Findings 5, 8 and Condition 1 appear to support this standard.**
4. The proposed use or structure is water-dependent; **Finding 9 appears to support this standard.**
5. Applicant's or owner's compliance with other borough permits and ordinance requirements; **Finding 14 and Conditions 11, 12 appear to support this standard.**

THIS CONDITIONAL USE PERMIT EFFECTIVE ON _____ DAY OF _____, 2022.

Jeremy Brantley, Chairperson
Planning Commission

ATTEST:

Ann Shirnberg
Administrative Assistant

Note: An appeal of a decision of the Planning Commission may be filed to the hearing officer, in accordance with the requirements of the KPB Code of Ordinances, Chapter 21.20.250. An appeal must be filed with the Borough Clerk within 15 days of date of the notice of the decision using the proper forms and be accompanied by the filing and records preparation fee.






G. OTHER

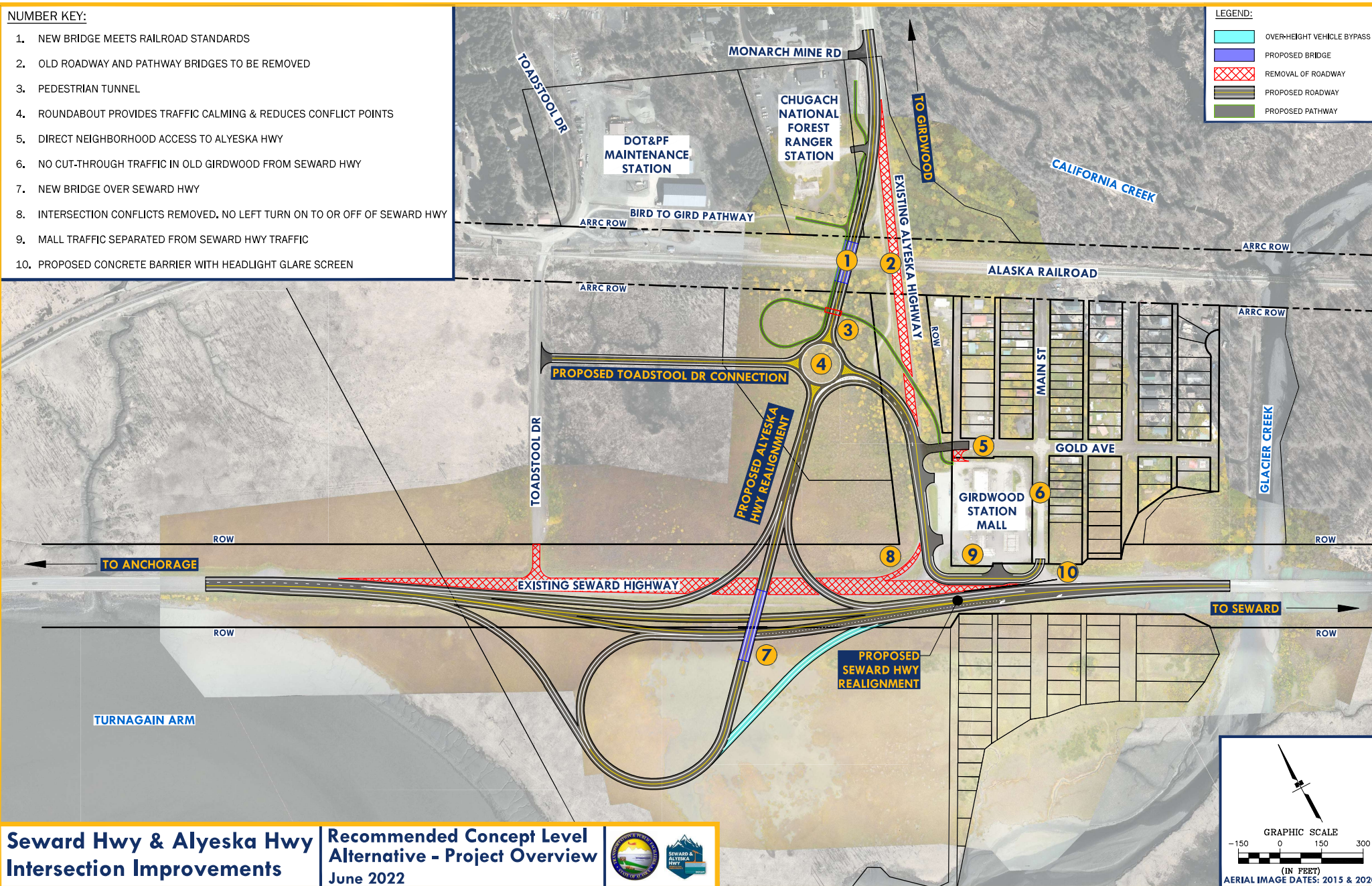
1. Seward Highway & Alyeska Highway Intersection Improvements

NUMBER KEY:

1. NEW BRIDGE MEETS RAILROAD STANDARDS
2. OLD ROADWAY AND PATHWAY BRIDGES TO BE REMOVED
3. PEDESTRIAN TUNNEL
4. ROUNDABOUT PROVIDES TRAFFIC CALMING & REDUCES CONFLICT POINTS
5. DIRECT NEIGHBORHOOD ACCESS TO ALYESKA HWY
6. NO CUT-THROUGH TRAFFIC IN OLD GIRDWOOD FROM SEWARD HWY
7. NEW BRIDGE OVER SEWARD HWY
8. INTERSECTION CONFLICTS REMOVED, NO LEFT TURN ON TO OR OFF OF SEWARD HWY
9. MALL TRAFFIC SEPARATED FROM SEWARD HWY TRAFFIC
10. PROPOSED CONCRETE BARRIER WITH HEADLIGHT GLARE SCREEN

LEGEND:

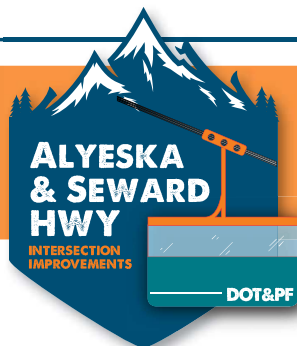
-  OVERHEIGHT VEHICLE BYPASS
-  PROPOSED BRIDGE
-  REMOVAL OF ROADWAY
-  PROPOSED ROADWAY
-  PROPOSED PATHWAY



Seward Hwy & Alyeska Hwy Intersection Improvements

Recommended Concept Level Alternative - Project Overview
June 2022





The Alaska Department of Transportation & Public Facilities (DOT&PF) is working to improve the capacity, operation, and safety of the Alyeska Hwy & Seward Hwy Intersection.

ABOUT:

The Alyeska Hwy intersection at MP 90 of the Seward Hwy is an important node along the 125-mile scenic byway and falls within the Safety Corridor. It is the gateway into Girdwood, and offers the only major stop for fuel and groceries between Anchorage and Seward. The current intersection is an at-grade tee configuration with left and right turn lanes on the Seward Hwy and a free right for Anchorage-bound traffic coming from Alyeska Hwy. Seward Hwy traffic is characterized by extreme seasonal peaks, with July volumes almost six times that of January volumes. That reduces the number of available gaps for turning vehicles, leading to increased delay. This is exacerbated by the many access points around the Girdwood Station Mall and associated turning movements.

While the intersection itself does not experience a higher-than-expected crash rate when compared to similar intersections throughout the state, many of the crashes that have occurred involve left-turning vehicles. These crashes have the potential to be high-severity and involve the movements that experience the most delay. Alternatives that reduce the delay for left turns are likely to also improve safety for these movements.

SCOPE:

DOT&PF has funded the project for engineering, environmental and public involvement activities through the selection of an alternative and development of the design to the 30% level, including compliance with the Municipality of Anchorage's Context Sensitive Solutions (CSS) Policy and the National Environmental Policy Act (NEPA).

BENEFITS OF CONCEPT LEVEL ALTERNATIVE:

- All movement free flow, no stops
- Same number of mall access points
- No impact to internal mall circulation
- Reduce construction impacts due to off-alignment construction
- Pathway designed to current standards
- Seward Hwy designed for 65 mph
- Design accommodates future 4-lane divided hwy
- Roundabout provides opportunity to create a gateway feel into Girdwood
- Intersection lighting to improve visibility

CONTACT:

PROJECT MANAGER, DOT&PF
Christina Huber, PE | 907.269.0572 | christina.huber@alaska.gov






PUBLIC INVOLVEMENT LEAD, R&M CONSULTANTS, INC.
Van Le, AICP | 907.646.9659 | vle@rmconsult.com

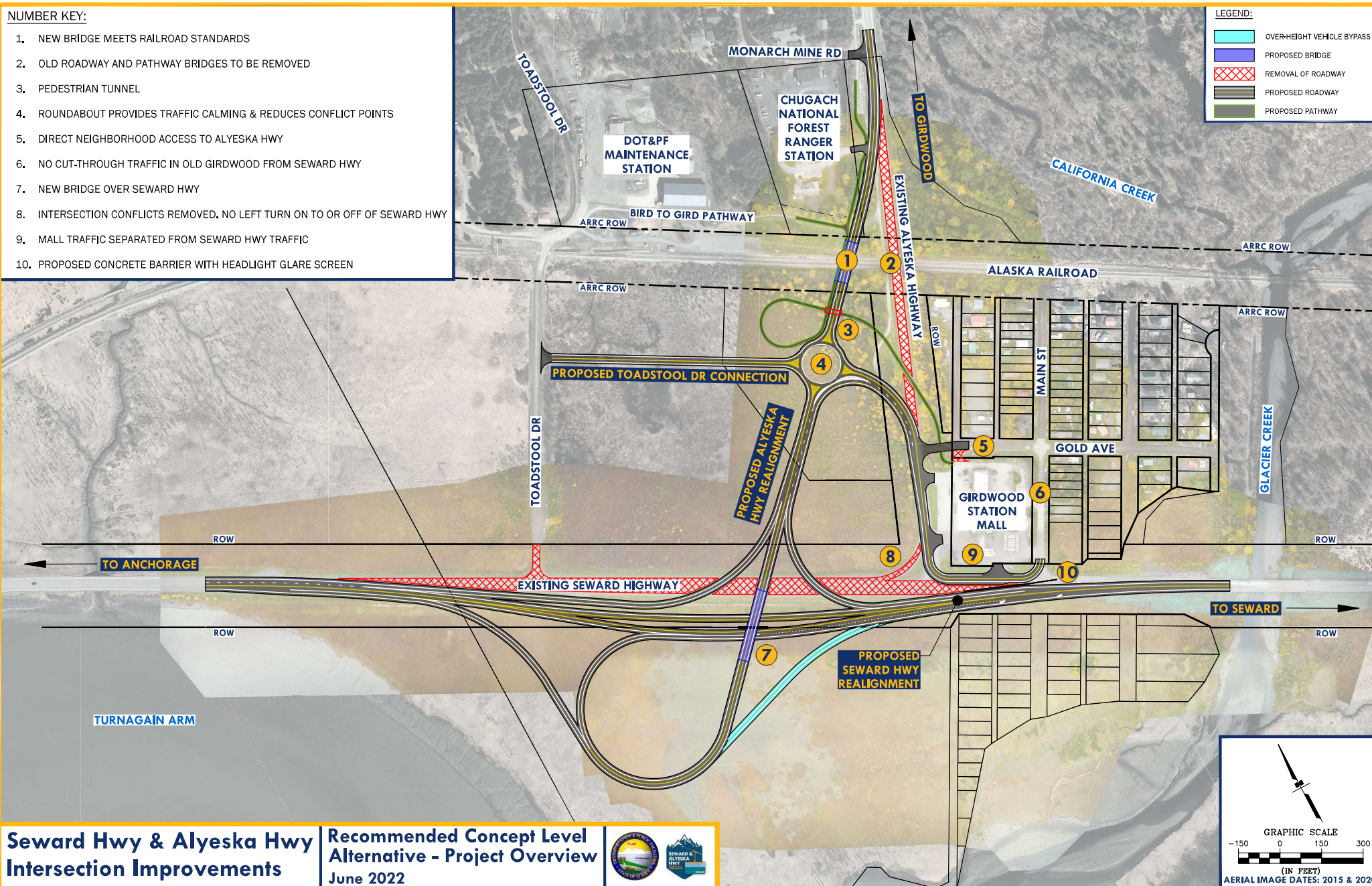
www.SEWARDALYESKAHWYINTERSECTION.com

NUMBER KEY:

1. NEW BRIDGE MEETS RAILROAD STANDARDS
2. OLD ROADWAY AND PATHWAY BRIDGES TO BE REMOVED
3. PEDESTRIAN TUNNEL
4. ROUNDABOUT PROVIDES TRAFFIC CALMING & REDUCES CONFLICT POINTS
5. DIRECT NEIGHBORHOOD ACCESS TO ALYESKA HWY
6. NO CUT-THROUGH TRAFFIC IN OLD GIRDWOOD FROM SEWARD HWY
7. NEW BRIDGE OVER SEWARD HWY
8. INTERSECTION CONFLICTS REMOVED, NO LEFT TURN ON TO OR OFF OF SEWARD HWY
9. MALL TRAFFIC SEPARATED FROM SEWARD HWY TRAFFIC
10. PROPOSED CONCRETE BARRIER WITH HEADLIGHT GLARE SCREEN

LEGEND:

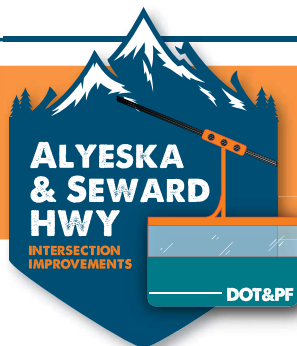
- | | |
|---|---------------------------|
|  | OVERHEIGHT VEHICLE BYPASS |
|  | PROPOSED BRIDGE |
|  | REMOVAL OF ROADWAY |
|  | PROPOSED ROADWAY |
|  | PROPOSED PATHWAY |



Seward Hwy & Alyeska Hwy Intersection Improvements

Recommended Concept Level Alternative - Project Overview
June 2022





The Alaska Department of Transportation & Public Facilities (DOT&PF) is working to improve the capacity, operation, and safety of the Alyeska Hwy & Seward Hwy Intersection.

ABOUT:

The Alyeska Hwy intersection at MP 90 of the Seward Hwy is an important node along the 125-mile scenic byway and falls within the Safety Corridor. It is the gateway into Girdwood, and offers the only major stop for fuel and groceries between Anchorage and Seward. The current intersection is an at-grade tee configuration with left and right turn lanes on the Seward Hwy and a free right for Anchorage-bound traffic coming from Alyeska Hwy. Seward Hwy traffic is characterized by extreme seasonal peaks, with July volumes almost six times that of January volumes. That reduces the number of available gaps for turning vehicles, leading to increased delay. This is exacerbated by the many access points around the Girdwood Station Mall and associated turning movements.

While the intersection itself does not experience a higher-than-expected crash rate when compared to similar intersections throughout the state, many of the crashes that have occurred involve left-turning vehicles. These crashes have the potential to be high-severity and involve the movements that experience the most delay. Alternatives that reduce the delay for left turns are likely to also improve safety for these movements.

SCOPE:

DOT&PF has funded the project for engineering, environmental and public involvement activities through the selection of an alternative and development of the design to the 30% level, including compliance with the Municipality of Anchorage's Context Sensitive Solutions (CSS) Policy and the National Environmental Policy Act (NEPA).

BENEFITS OF CONCEPT LEVEL ALTERNATIVE:

- All movement free flow, no stops
- Same number of mall access points
- No impact to internal mall circulation
- Reduce construction impacts due to off-alignment construction
- Pathway designed to current standards
- Seward Hwy designed for 65 mph
- Design accommodates future 4-lane divided hwy
- Roundabout provides opportunity to create a gateway feel into Girdwood
- Intersection lighting to improve visibility

CONTACT:

PROJECT MANAGER, DOT&PF
Christina Huber, PE | 907.269.0572 | christina.huber@alaska.gov

PUBLIC INVOLVEMENT LEAD, R&M CONSULTANTS, INC.
Van Le, AICP | 907.646.9659 | vle@rmconsult.com

www.SEWARDALYESKAHWYINTERSECTION.com

MISCELLANEOUS INFORMATION

Funny River Advisory Planning Commission

August 4, 2022 Agenda

A. Call to Order (Invocation, Pledge)

Don Fritz 7:01pm

B. Roll Call

Don F, Jim H, Jerry H, Mike M, Kevin O (Julie V had prior engagement)

C. Approval of Unapproved minutes July 12, 2022

All approve

D. Approval of Agenda

All approve

E. Public Comment(5 minute limit)

None

F. Report

a. Chief Browning on Fire station update

Fire chief Roy Browning presented that starting October 1st the Funny River fire station would be manned 24/7. It will be staffed with 6 new employees that recently finished their EMS training. He pointed out that they are waiting for the delivery of a new ambulance before the fire station can be operational. He also explained that a new youth training program for 14-18yr olds, interested in pursuing a career in fire science.

b. Post office meeting report

Jim Harpering went over the conversation he had with Tim Bruno. He learned that there are more types of post offices than originally thought. Kevin volunteered to contact them on the specifics village post office.

c. Survey update

So far over 100 responses to the online survey. Several paper survey's had been filled out and turned into the Funny River community center. It was decided that the paper surveys would be tallied with multiple members present for accountability. There was concern from multiple members who did not receive the postcard in the mail about the survey.

d. Budget request report

The Funny River APC'S zoom account was approved. The money for printing and postage for the FR survey was also approved

e. Transfer station

On multiple occasions the FR transfer station has been over flowing. The concerns voiced by members are; that commercial business are using it, hazmats are not being properly disposed, doors too full to latch allowing wildlife in. Jerry suggested of having it manned and closed during certain hours. Kevin suggested charging businesses to use it and that would go towards paying for it being staffed. Jerry would do more research and tabled till next meeting.

G. Adjournment

All approved 8:45pm

**COOPER LANDING ADVISORY PLANNING COMMISSION
REGULAR MEETING
LOCATION: ZOOM TELECONFERENCE OR
COOPER LANDING COMMUNITY HALL
WEDNESDAY, SEPTEMBER 7, 2022
6:00 PM
UNAPPROVED MINUTES**

1. CALL TO ORDER 6:00pm
2. ROLL CALL –
 - a. Y. Galbraith, J. Cadieux, D. Story, L. Johnson, K. Recken present. H. Harrison, C. Degernes excused.
 - b. Nancy Carver (APC Liason), Alice Rademacher HDR Sterling Hwy. MP 45-60 Public Involvement Coordinator, Jonathan Tymick (DOT&PF), Patrick Cotter (Project Manager at RESPEC for the Unit 395 Planning Project), Jesse Bjorkman (KPB Assembly and Candidate for State Senate)
 - c. Rev. Steven, Melissa Brennan, Sherrie Peckham, Jerry Fox, Rhonda Lynn, Al Nirenberg
3. APPROVAL OF AGENDA – K. Recken moves to approve the agenda as written, L. Johnson seconds. All approve via roll-call vote.
4. APPROVAL OF MINUTES for August 03, 2022 – Y. Galbraith moves to approve the minutes as written. L. Johnson seconds. All approve via roll-call vote.
5. CORRESPONDENCE
 - a. Notice of Decision regarding Quartz Creek Subdivision Outfitters Way Replat Preliminary Plat
6. PUBLIC COMMENT/PRESENTATION WITHOUT PREVIOUS NOTICE
 - a. None
7. REPORT FROM BOROUGH
 - a. DOT&PF Sterling Hwy MP 45-60 Project report and questions/answers. Jonathan Tymick, PE, Project Manager, AKDOT&PF.
 - i. The open house earlier this month went well. 22 members of the public attended. Much of the feedback was regarding the value of and need for more imagery to show locations on the maps and roll plots.
 - ii. The phases 3 and 4 package was awarded to QAP. They anticipate working through Thanksgiving and shutting down after that for the season.
 - iii. Q: K. Recken asked about the work they will be doing.

1. A: J. Tymick said that they will be trying to excavate and fill in the highs in the terrain and fill-in the lows spots of the terrain within Phases 3 and 4.
- iv. Q: K Recken asked what MP the two alignments will intersect?
- v. A: J Tymick answered just about 800' west of the steep hill across from Sportsman's Landing. Though the "tight diamond" option was the most expensive it has allowed them to avoid wetlands and cultural resources while providing material for the bridge site.
- b. Marcus Mueller, KPB Land Manager
 - i. Compost Dump, Stumpy's Tree Service (Shane Cottam) was awarded the contract to
 - a. separate trash,
 - b. burn,
 - c. move unburned debris off site,
 - d. grade the site.
 2. The goal of the contract is to "hit the reset button on the site" and be prepared for being able to use the site again as intended.
 3. There will be an announcement in the Crier with information about continued use of the site during the burn.
 4. Concern was raised by K Recken and seconded by Y Galbraith about wind events and vulnerability of the burning material. CLES is aware of the burn but if winds occur the fire could be difficult to control. M Mueller indicated they were counting largely on the weather being so wet right now.
 5. The next management opportunity will occur when needed as there is now funding for the management of the green materials site.
 6. J Cadieux indicated it is highly valued in the community and we are happy that our site can continue where it is now.
 7. K Recken thanked M Mueller for the KPB's action.
 - ii. Mayor C. Pierce signed his resignation. The Assembly nominated Mike Navarre as interim mayor until a special election can be held. M. Navarre will take office on October 1st and efforts will be made to make the transition smooth and attend to "housekeeping." The next elected mayor will serve to the end of C Pierce's original term in October, 2023.
 - iii. KPB Forestry Project to mitigate spruce bark beetle kill has been a bit on hold since D Truitt left. Her position has not yet been filled. Community Wildfire Defense funding has come available from the USFS that many communities in the KPB qualify for. A grant application will be submitted and Cooper Landing will be some component of that grant. The application is due Oct 7th. Awards will be announced in Spring, 2023 for action in Summer 2023. HEA and CEA will be included for powerline clearing.

1. Y. Galbraith asked whether the KPB might be increasing the amount of trees per acre that can be removed given the beetle kill in the borough.
 - a. M. Mueller said that two written policies may be referenced online on the KPB Land Management website: 1. The Hazard Tree and Firewise Policy and 2. The Firewood Gathering Policy.
 - b. Dispersed use is a big part of the design of the limits of the Firewood Gathering Policy. It is structured to encourage folk to not take from all one area. If it is 5 trees, you fill up your truck and move to a different spot.
 - c. If there is a tree on KPB land that poses a direct threat to a structure or driveway than the Hazard Tree and Firewise Policy allows the tree to be removed. It can also extend a landowner's Firewise plan to adjacent KPB property.

8. OLD BUSINESS – none

9. NEW BUSINESS

a. Patrick Cotter, RESPEC Unit 395 Public Participation Plan

- i. The public information packet is a map for public participation. It is not rigid and can flex to include other elements.
- ii. The first event will occur on September 20th will be an informal drop-in session at the Cooper Landing Brewery with maps on the wall and sticky notes so people can step in and express how the community feels about the project and the parcel.
- iii. The next event will be at the Community Hall on September 21st and will be more like an open house with some guiding questions and ideas and folks will be able to vote on how much they like or dislike each.
- iv. In the meantime they are developing an online interactive map and a website. People will be able to make comments on the map and others can like or dislike the comments in each area to gauge community sentiment.
- v. The goal for the first two events is to help learn of the community's vision and values for Unit 395, Juneau Bench lands.
- vi. The next event would be in October or November and will include the first iteration or summary of what they learned from the community. It would present alternatives and ideas.
- vii. August 4th was the first site visit with M. Mueller and A. Hughes of KPB Land Management, D. Story representing the CLAPC and Respec planner P. Cotter and his geotechnical partner where the Respec planners were first introduced to the physical lay of the land.

- viii. 40 test holes will be excavated to determine the feasibility of construction options, gather geotechnical data, etc. This will occur when the team comes to Cooper Landing for the Sep 20-21 events.
- ix. Interviews with individuals will be scheduled starting from the stakeholder list but others can be included.
 - 1. K. Recken asked who P. Cotter worked for.
 - a. P. Cotter explained that Respec is a planning and engineering company that works with other groups to do planning projects around the state.
- x. Respec has pulled together the land use plans, geotechnical data, EIS information etc. to set the stage for the rest of the planning process.
 - 1. J. Cadieux asked whether the Landscape Linkages document is included in those plans and explained that it is an important source of information to determine the wildlife and natural systems information of the area and the help understand why some parcels were given protective classification.
 - 2. P. Cotter said he has not reviewed that one yet but is interested in including it.
- xi. One of the initial documents they produce will be a summary of the documents they used as sources and will create a bibliography of sorts.
- xii. J. Cadieux asked for comments from the commissioners
 - 1. D. Story said the project timeline is pretty short for the scope of this 1000 acre unit. More time will be needed for the community to reflect on ideas and discuss them, learn about data that is gathered by the team and decide what they like and do not like in a potential plan.
 - 2. P Cotter responded that the target of 6 months is aggressive and they would be flexible if more time is needed. Adjustments can be made.
- xiii. K. Recken said the immediate nature of the meetings is something that is concerning because of the seasonal nature of the community. She suggested possibly holding the two planned dates of the 20th and 21st further apart.
- xiv. D Story advocated for the importance of imagery, not just roll plots but other photographic images, etc. to help people align their knowledge of the areas with plans and ideas that are suggested.
 - 1. P. Cotter said Corvus Design is on the team and they are very good at providing the landscape level context of imagery.
- xv. K. Recken said that the public notice locations may need to change.

1. D. Story mentioned that we will just need to adjust the locations that we post on our website to reflect where we are actually doing so.
 2. J. Cadieux said that she would follow up with N. Carver to adjust those.
 3. N Carver will contact KPB Clerk for guidance and copy J Cadieux.
- xvi. Y. Galbraith asked whether it would be appropriate to include Alaska Housing Finance Corporation or Kenai Peninsula Housing Initiative,
1. D Story asked if Rural Cap would be appropriate to include.
 2. P. Cotter said that it a stand-alone task of the project to assess Affordable Housing possibilities that can be included the plan.
- xvii. K. Recken said she thinks the draft plan should come back to the community and probably including a public meeting before it goes to the Planning Commission and Assembly.
1. J. Cadieux said that the public will need to have an opportunity to give feedback after feasibility studies have been done since early comments may become irrelevant after a feasibility study determines certain aspects are not viable. People's ideas may change from their first opportunities to provide input to when data starts rolling in.
- xviii. A. Nirenberg asked about the costs to the borough.
1. P. Cotter said that this is really the beginning of the assessments. Costs will become known once more investigation is carried out.
- xix. J. Cadieux indicated the people of Cooper Landing want the details including data that is gathered on e.g. geotechnical drilling. Please be ready to answer questions and provide details.
- xx. J Cadieux asked to confirm whether it the 20th and 21st would be the next time we hear from RESPEC.
1. P. Cotter said that is correct and suggested adding RESPEC to the agenda for the October CLAPC meeting and for each month that CLAPC meets.
- xxi. Northern Economics will be doing cost estimates, Information Insights, J Hansen from Cold Climate Housing Research Center will be working on the affordable housing assessment, ABR, Inc will be working on the habitat review, specialty wildlife and wetlands analysis and reviews.
- xxii. Patrick.cotter@respec.com Respec will also have an email list to be included on any project communications. The website, once up, will also be a means to reach out to the team.
- xxiii. P. Cotter asked about the best name for the project.

1. J Cadieux and L Johnson both expressed the importance of “Unit 395” as it is from the Kenai Area Plan and has been long associated with the parcel and is widely known.
2. D Story indicated some members of the community know the unit by “West Juneau Bench” or “Juneau Bench” area.

10. PLAT REVIEW – none

11. INFORMATION and ANNOUNCEMENTS

- a. Seward Highway and Alyeska Highway Intersection Improvements: See information on that website, posted on the Crier, or CLAPC website to provide public input on that project.

12. COMMISSIONER’S COMMENTS

- a. J. Cadieux thanked everyone

13. ADJOURNMENT – L. Johnson moves to adjourn. Y. Galbraith seconds. All approve via roll-call vote. 7:21pm

For more information or to submit comments please contact:

David Story, Secretary Treasurer or Janette Cadieux, Chair, P.O. Box 694, Cooper Landing, 99572 CooperLandingAPC@gmail.com